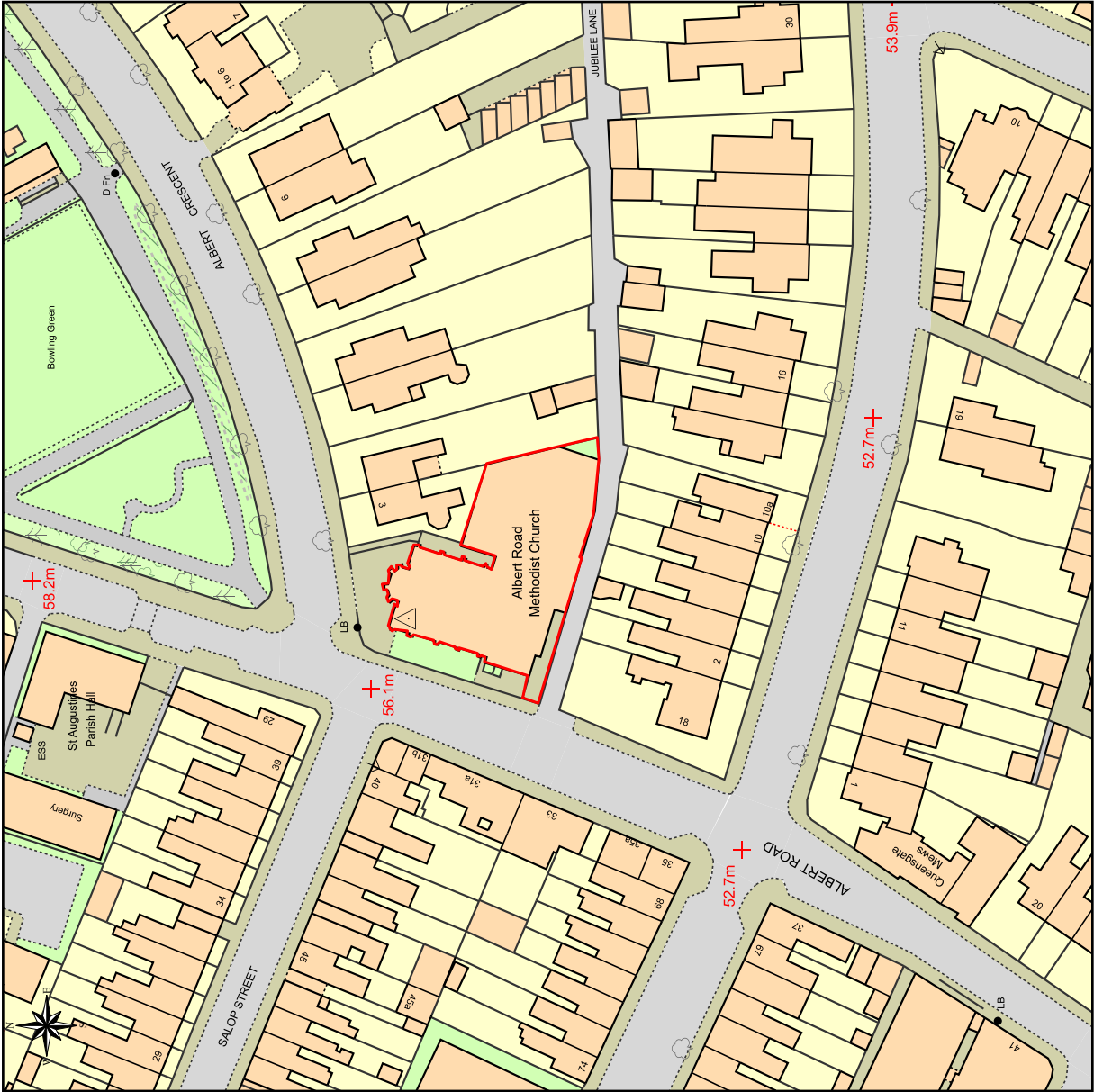
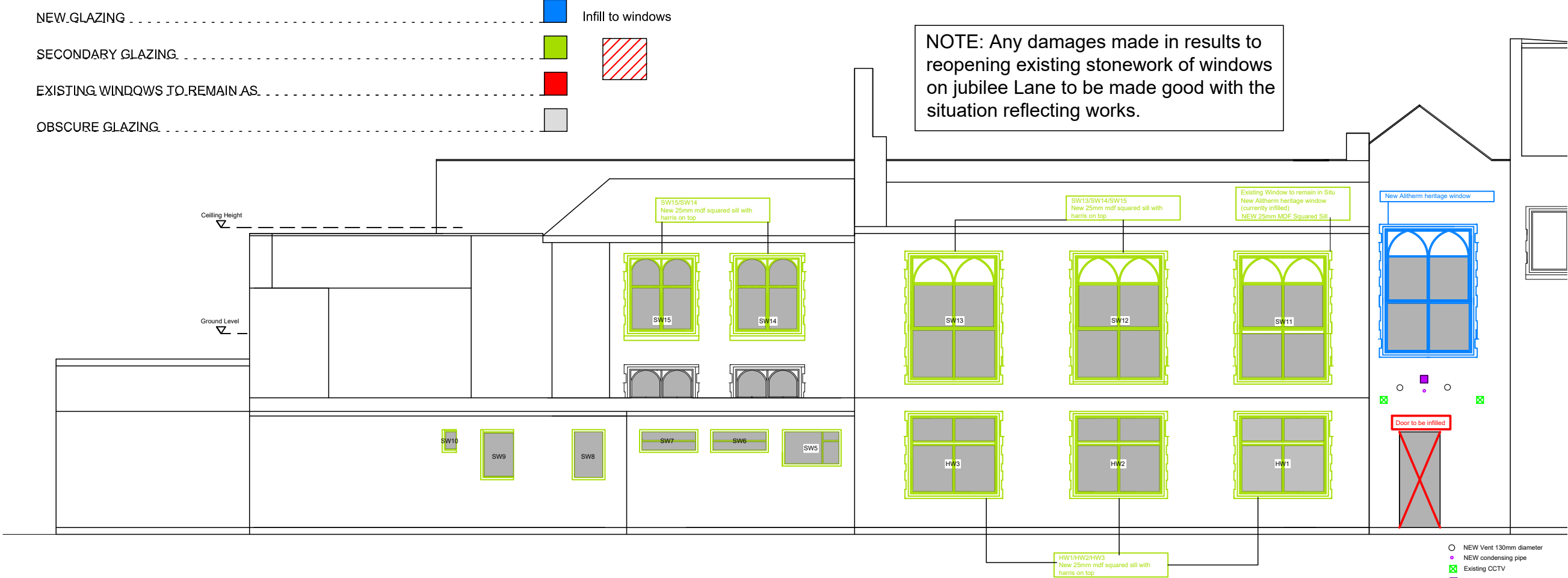




This Plan includes the following Licensed Data: OS MasterMap Colour PDF Location Plan by the Ordnance Survey National Geographic Database and incorporating surveyed revision available at the date of production. Reproduction in whole or in part is prohibited without the prior permission of Ordnance Survey. The representation of a road, track or path is no evidence of a right of way. The representation of features, as lines is no evidence of a property boundary. © Crown copyright and database rights, 2022. Ordnance Survey 0100031673

Scale: 1:1250, paper size: A4





PROPOSED NORTH ELEVATION

2022/00077/FUL

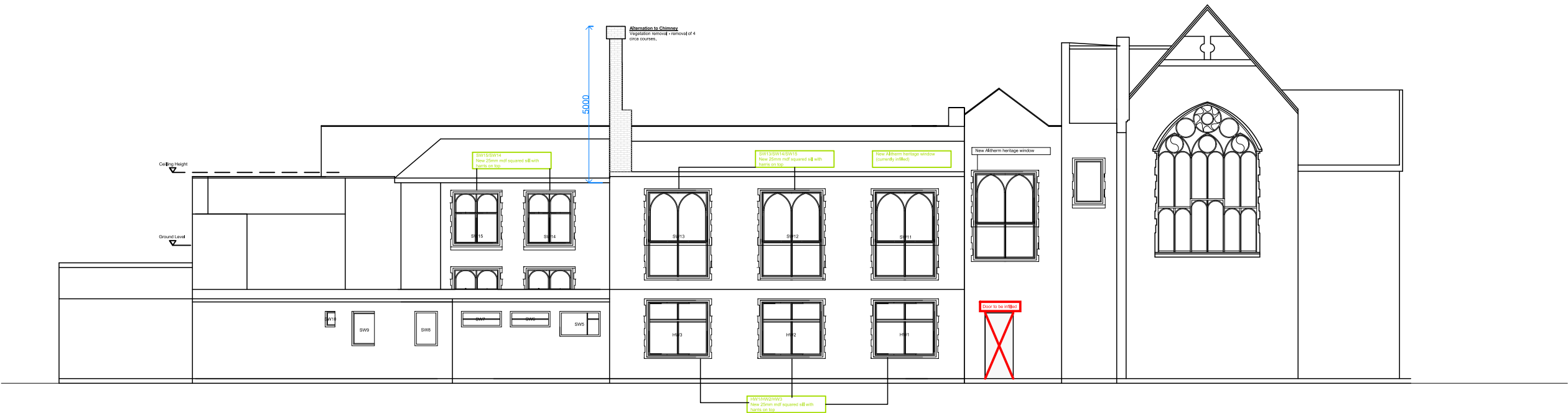


EXISTING NORTH ELEVATION

Client	Simon Baston	Date
Project Address	31A Albert Rd, Penarth CF64 1BY	
Drawing Title	Existing & Proposed N Elevation	Sheet A3
Drawn By	Ryan Davies	1/150

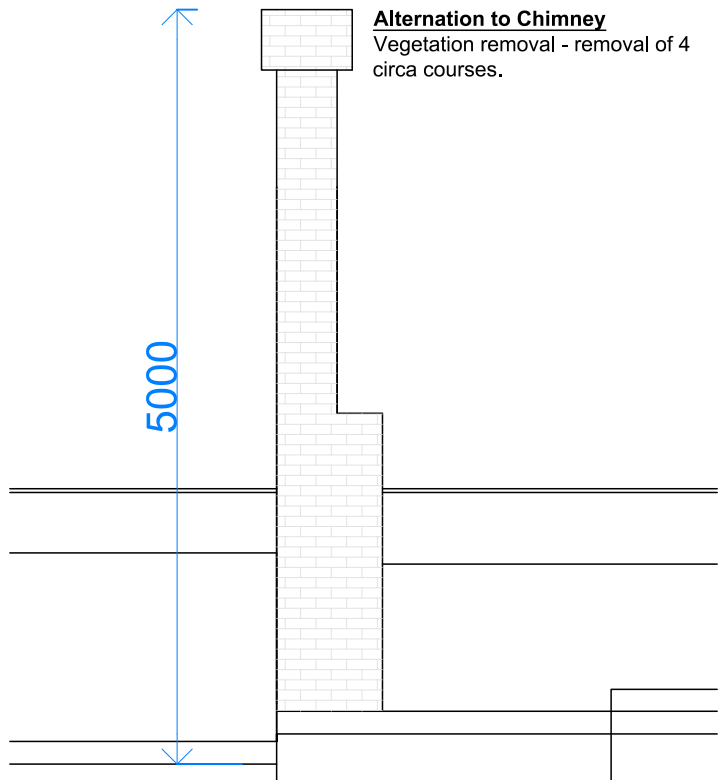
02922 362706 WWW.RHUGHESDESIGNS.COM
ENQUIRIES@RHUGHESDESIGNS.COM

R. HUGHES
DESIGNS

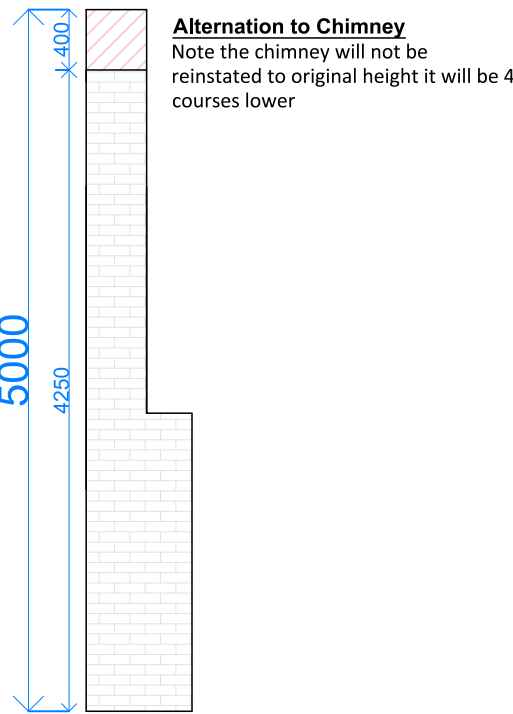


PROPOSED REAR ELEVATION 1:150

2022/00077/FUL



Existing Chimney



New Chimney

Client	Simon Baston	Date
Project Address	31A Albert Rd, Penarth CF64 1BY	
Drawing Title	Proposed Elevation 6 - Chimney	Sheet A3
Drawn By	Ryan Davies	Scale 1:50
		1/150

02922 362706 WWW.RHUGHESDESIGNS.COM
ENQUIRIES@RHUGHESDESIGNS.COM

R. HUGHES
DESIGNS

- NEW GLAZING

SECONDARY GLAZING

EXISTING WINDOWS TO REMAIN AS

OBSCURE GLAZING

WINDOWS INFILLED

SPANDREL PANELS IN BLACK

EXTERNAL BULKHEAD LIGHT

EMERGENCY LIGHTING
- EL

2022/00077/FUL



Existing East Elevation
1:100 @ A2



Proposed East Elevation
1:100 @ A2

- NEW GLAZING

SECONDARY GLAZING

EXISTING WINDOWS TO REMAIN AS

OBSCURE GLAZING

WINDOWS INFILLED

SPANDREL PANELS IN BLACK

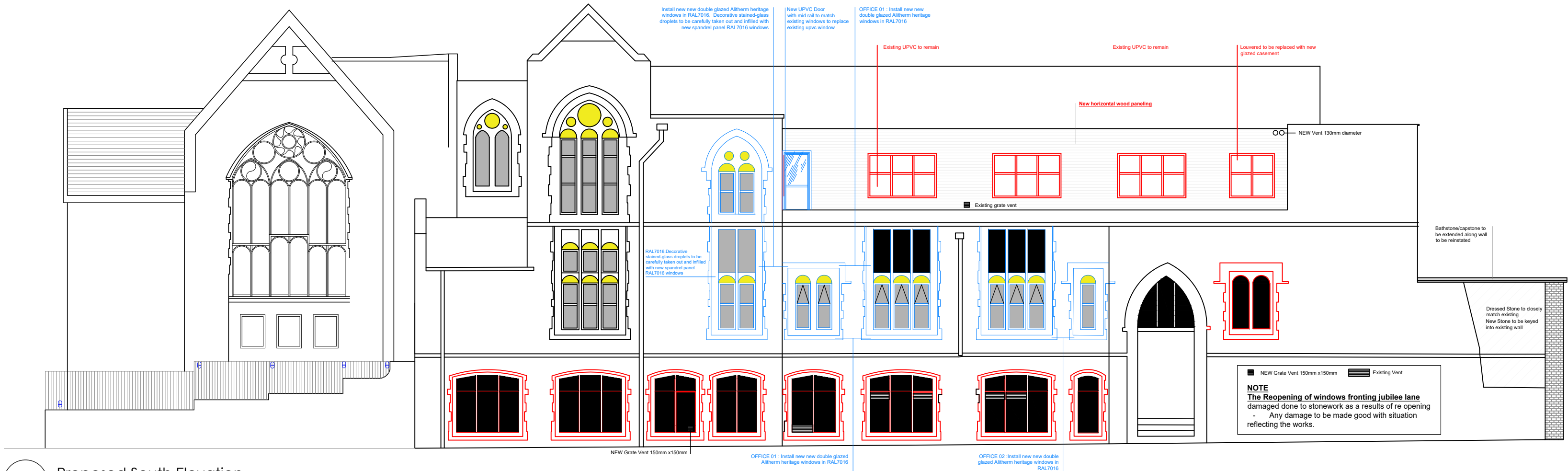
EXTERNAL BULKHEAD LIGHT

EMERGENCY LIGHTING
- EL

2022/00077/FUL



Existing South Elevation
1:100 @ A2



Proposed South Elevation
1:100 @ A2

Revisions			Description
Rev #	Date		
01	19/10/22		Amended Elevations

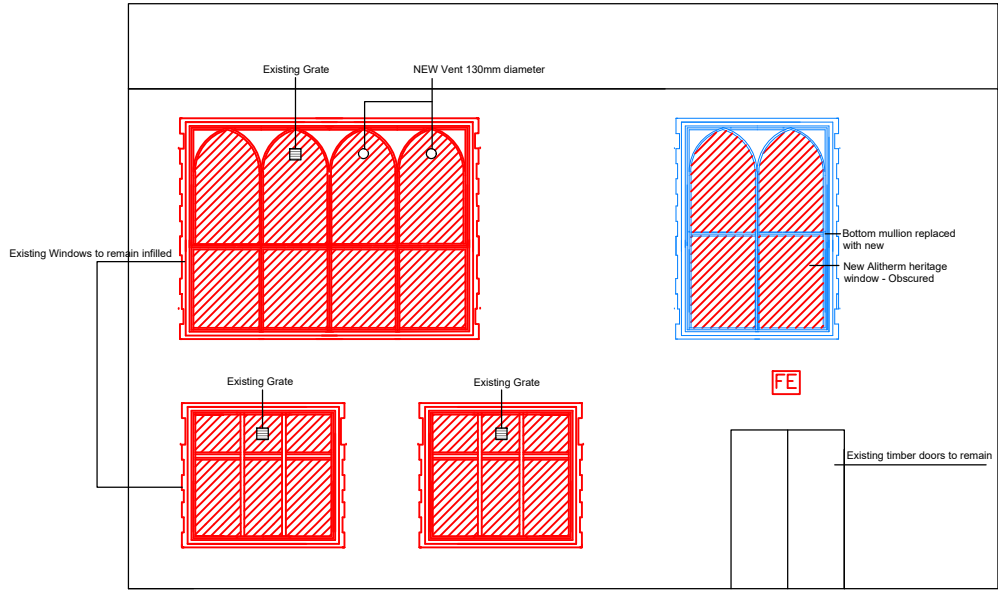
Client: Simon Baston
Address: 31A, Albert Road, Penarth, CF64 1BY
Date: 04/10/2022
Title: Elevation - South
Drawn By: RD
Scale: 1:100@A2

R. Hughes, Platform, Bute St,
Cardiff CF10 5LE
www.RHughesdesigns.com
Enquiries@rhughesdesigns.com
02922 362706

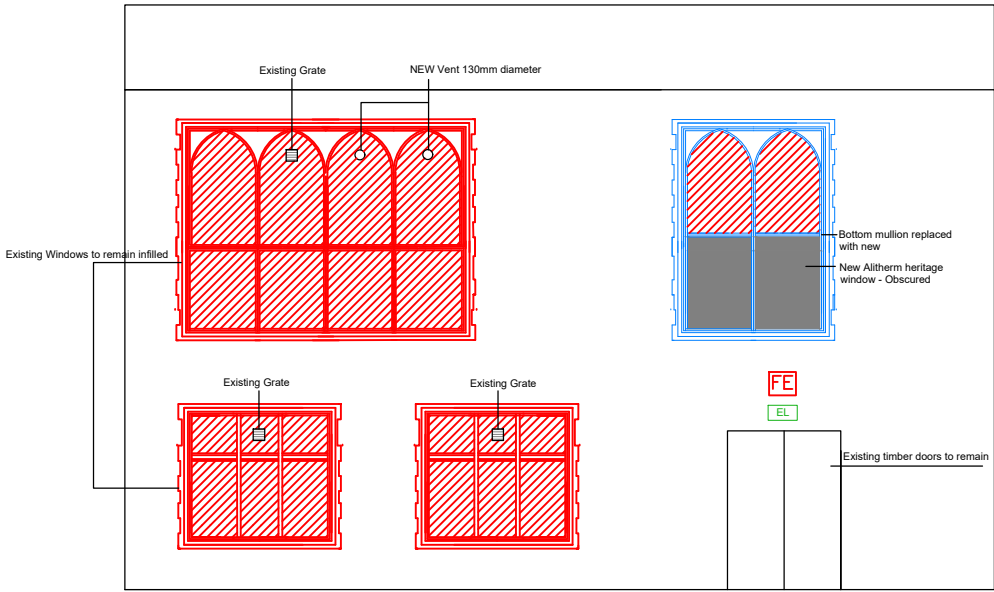
- NEW GLAZING
- SECONDARY GLAZING
- EXISTING WINDOWS TO REMAIN AS
- OBSCURE GLAZING
- WINDOWS INFILLED
- SPANDREL PANELS IN BLACK
- EXTERNAL BULKHEAD LIGHT
- EMERGENCY LIGHTING

EL

2022/00077/FUL



Existing West Elevation
1:100 @ A2

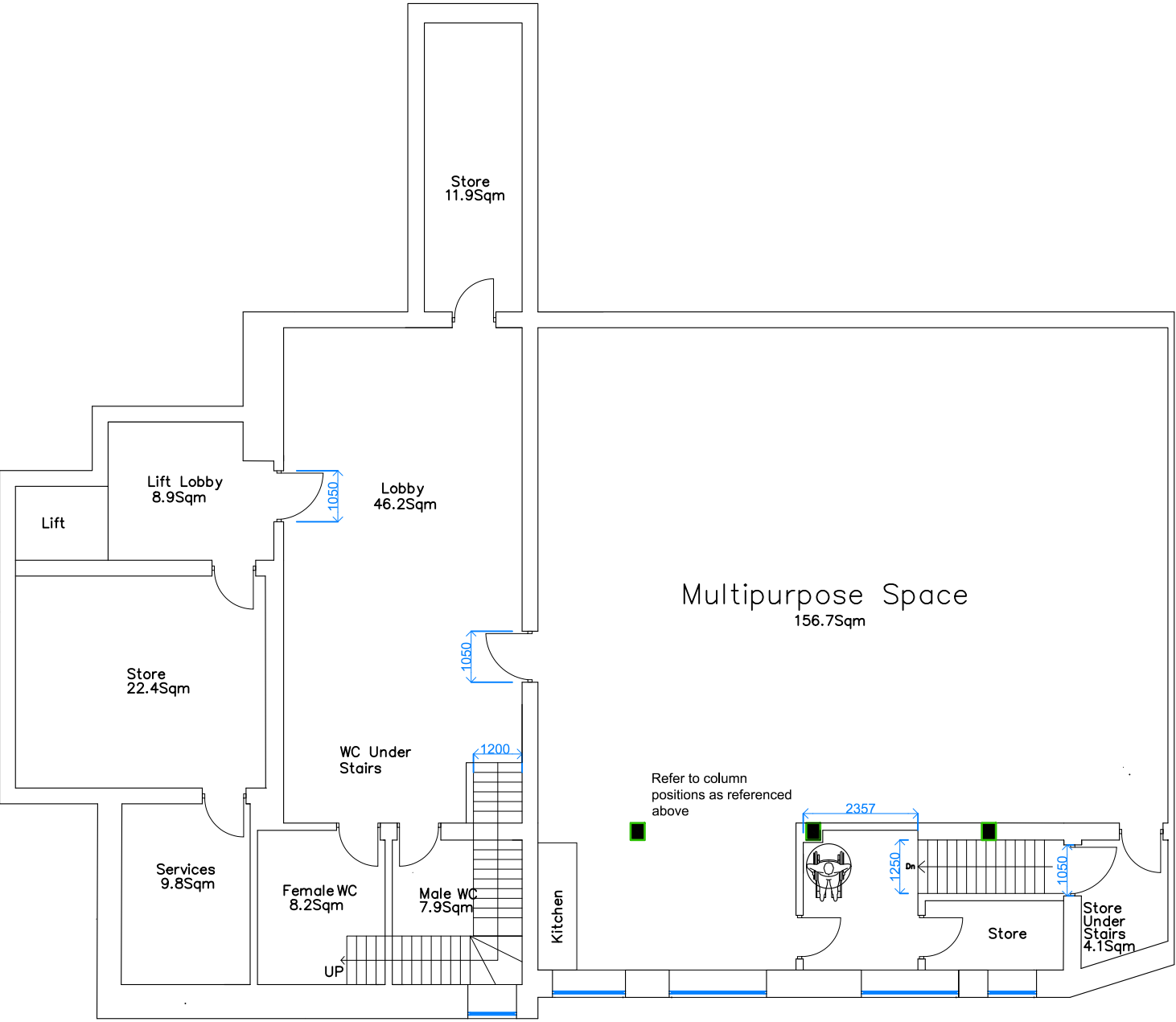


Proposed West Elevation
1:100 @ A2

R.Hughes, Platform, Bute St,
Cardiff CF10 5LE
www.RHughesdesigns.com
Enquiries@rhughesdesigns.com
02922 362706

Client: Simon Baston
Address: 31A, Albert Road, Penarth,
CF64 1BY
Date: 04/10/2022
Title: Elevation - West
Drawn By: RD
Scale: 1:100@A2

Revisions		Description	
Rev #	Date	Rev #	Date
01	19/10/22	Amended Elevations	



PROPOSED BASEMENT FLOOR

2022/00077/FUL

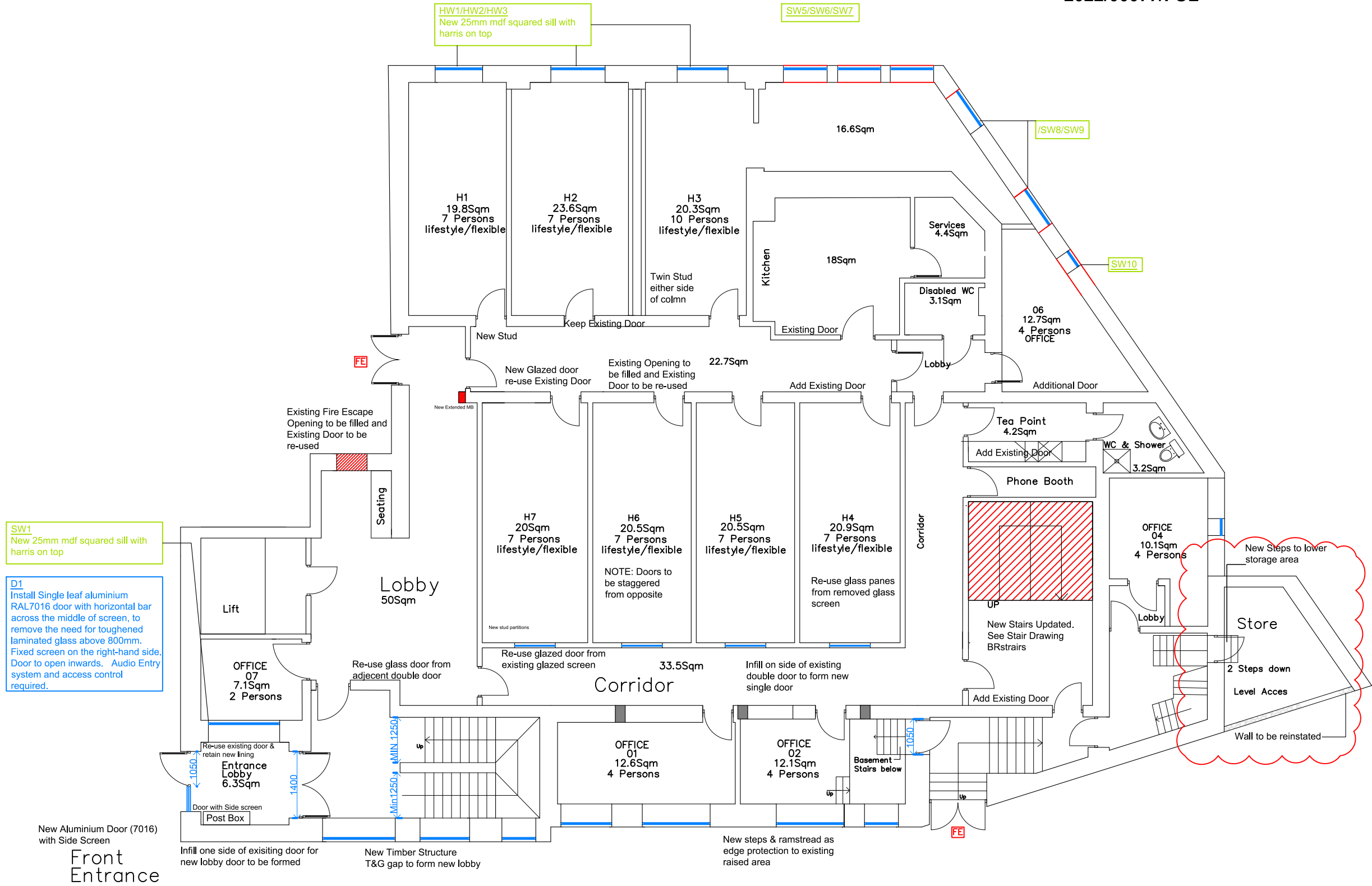
Client	Simon Baston	Date
Project Address	31A Albert Rd, Penarth CF64 1BY	15/02/2022
Drawing Title	PP100 Proposed Basement Plan	Sheet A3
Drawn By	RD	1/125
Scale		

02922 362706 WWW.RHUGHESDESIGNS.COM
ENQUIRIES@RHUGHESDESIGNS.COM

R. HUGHIES

DESIGNS

2022/00077/FUL

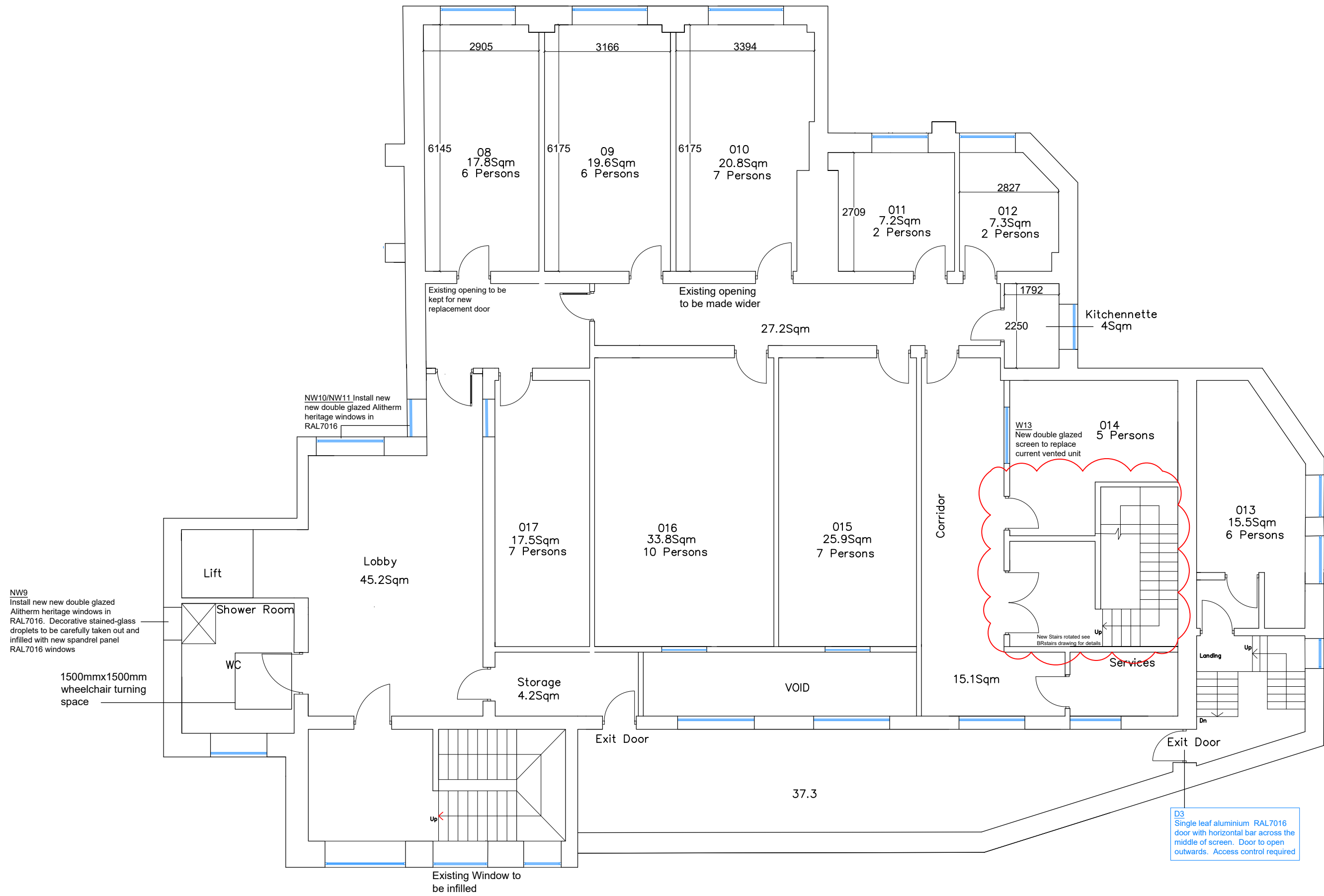


PROPOSED GROUND FLOOR

Client	Simon Baston	Date	28/04/2022
Project Address	31A Albert Rd, Penarth CF64 1BY	Sheet A3	
Drawing Title	PP200 Proposed GF Plan	Scale	1/125
Drawn By	Ryan Davies		

02922 362706 WWW.RHUGHESDESIGNS.COM
ENQUIRIES@RHUGHESDESIGNS.COM

R. HUGHES
DESIGNS

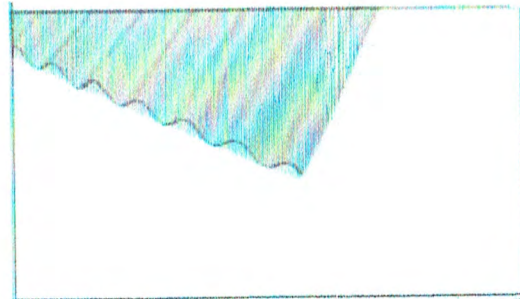


PROPOSED FIRST FLOOR

Revisions			Description
Rev #	Date		
01	19/10/22		Amended Flr Plan

Client: Simon Baston
Address: 31A, Albert Road, Penarth, CF64 1BY
Date: 04/10/2022
Title: PP300 First Floor Plan
Drawn By: RD
Scale: 1:100@A2

R. Hughes, Platform, Bute St,
Cardiff CF10 5LE
www.RHughesdesigns.com
Enquiries@rhughesdesigns.com
02922 362706



Cembrit Cemsix corrugated sheeting to main roof outlined in red

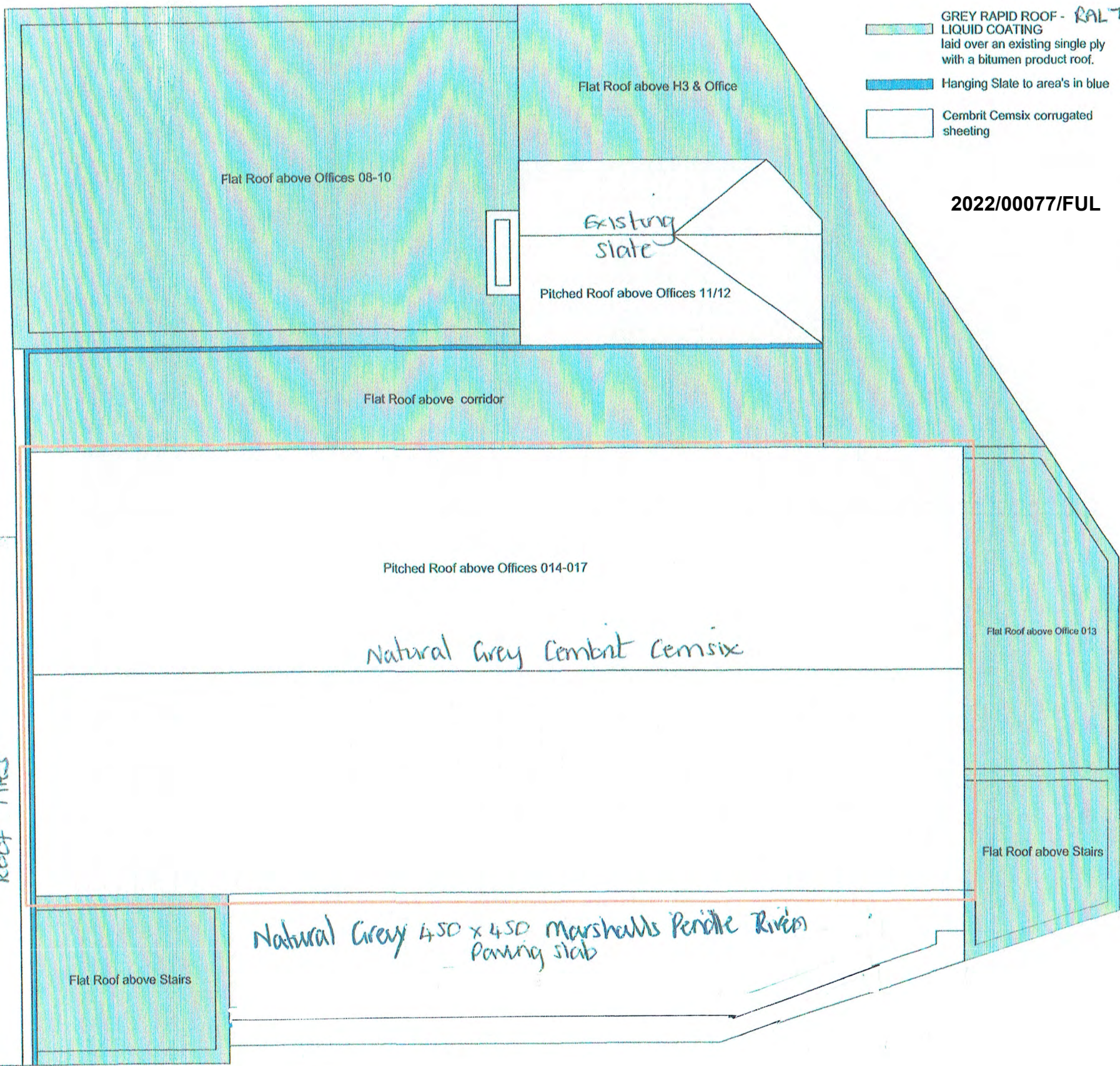
Existing Flat roof

Existing slate roof

Existing slate roof

Pitched Roof above Entrance

New composite slate grey Roof Tiles



- GREY RAPID ROOF - RAL7012 LIQUID COATING laid over an existing single ply with a bitumen product roof.
- Hanging Slate to area's in blue
- Cembrit Cemsix corrugated sheeting

2022/00077/FUL

PROPOSED ROOF PLAN

NOTE: Main roof circled in red to be replaced with new Cembrit Cemsix corrugated sheeting - Natural Grey

02922 362706
ENQUIRIES@RHUGHESDESIGNS.COM

WWW.RHUGHESDESIGNS.COM

Client	Simon Baston	Date
Project Address	31A Albert Rd, Penarth CF64 1BY	
Drawing Title	Proposed Roof Plan	Sheet A3
Drawn By	Ryan Davies	Scale
		1/150

R. HUGHES
DESIGNS



West and South Elevation



Jubilee Lane Elevation showing new windows at ground and first floor level



Jubilee Lane showing vents at basement level and boundaries with houses on Clive Place



North Elevation



From Garden of 4 Albert Crescent



From inside room on Ground Floor looking to rear of properties on Clive Place



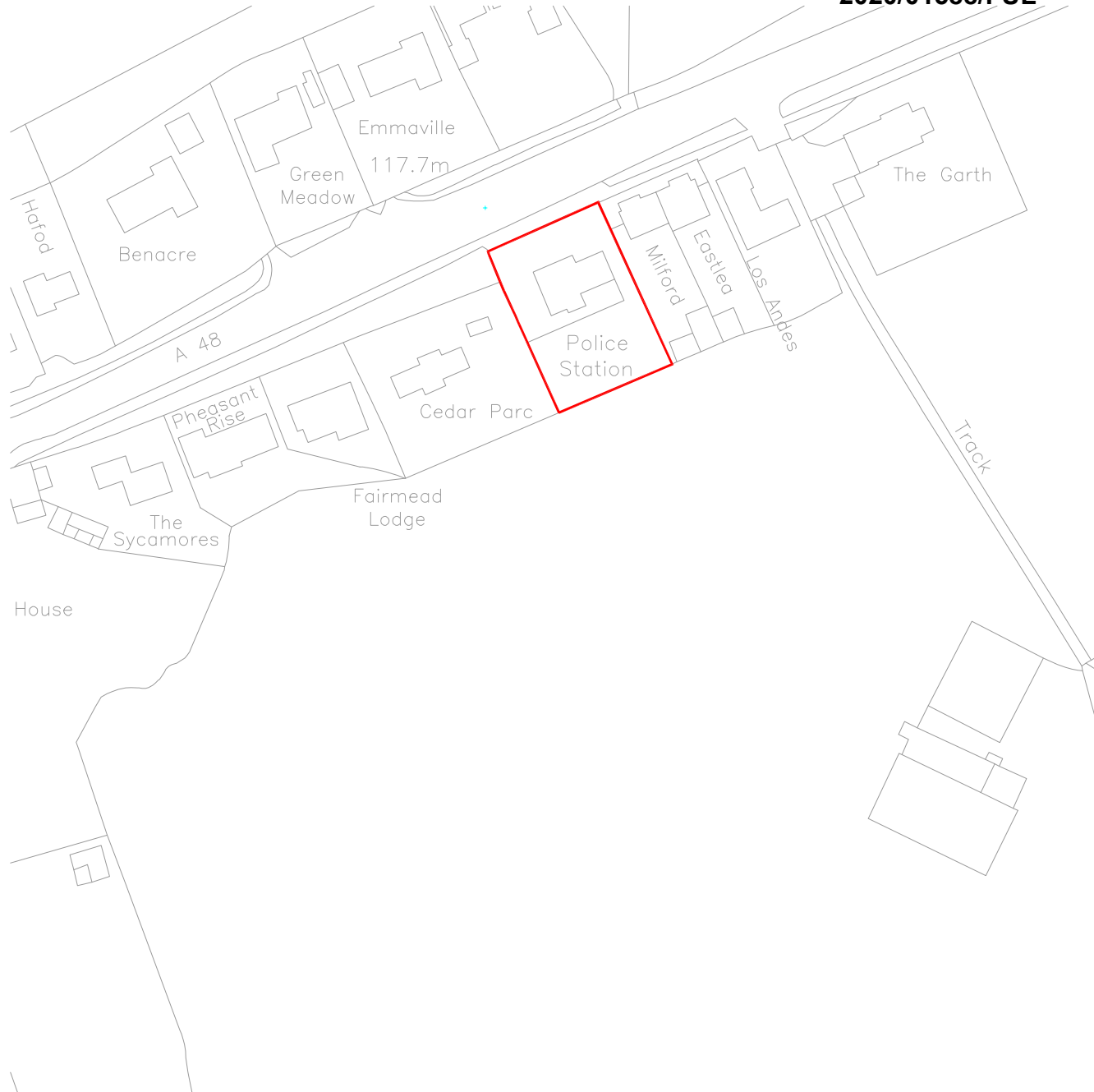
From rear of properties on Clive Place



Jubilee Lane and East Elevation showing partially demolished wall and new red brick wall



Jubilee Lane looing east



2020/01588/FUL

Number **R568-00 A4**

NOTES:
THIS DRAWING IS COPYRIGHT.
DO NOT SCALE FROM THIS DRAWING.
WORK TO FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE.
ANY DISCREPANCIES TO BE NOTIFIED
TO THE ARCHITECT.

NOTES:
DRAWINGS HAVE BEEN PRODUCED FOR
PLANNING AND BUILDING REGULATIONS
PURPOSES ONLY. THE CONSTRUCTION
(DESIGN AND MANAGEMENT)
REGULATIONS 2015 (CDM) IS THE
RESPONSIBILITY OF THE CLIENT/
CONTRACTOR UNLESS OTHERWISE
AGREED IN WRITING.

-	-	-

REVISIONS



**THE STABLES, THE ESTATES OFFICE, 25-26
GOLD TOPS, NEWPORT, NP20 4PG**
PHONE: 01633 744144
EMAIL: admin@ra-architects.co.uk

RICHARD ANDREWS ARCHITECTS LTD.
REGISTERED IN ENGLAND & WALES NO.8274171.
REGISTERED OFFICE: COMPANIES HOUSE, CROWN WAY, CARDIFF, CF14 3UZ
www.ra-architects.co.uk

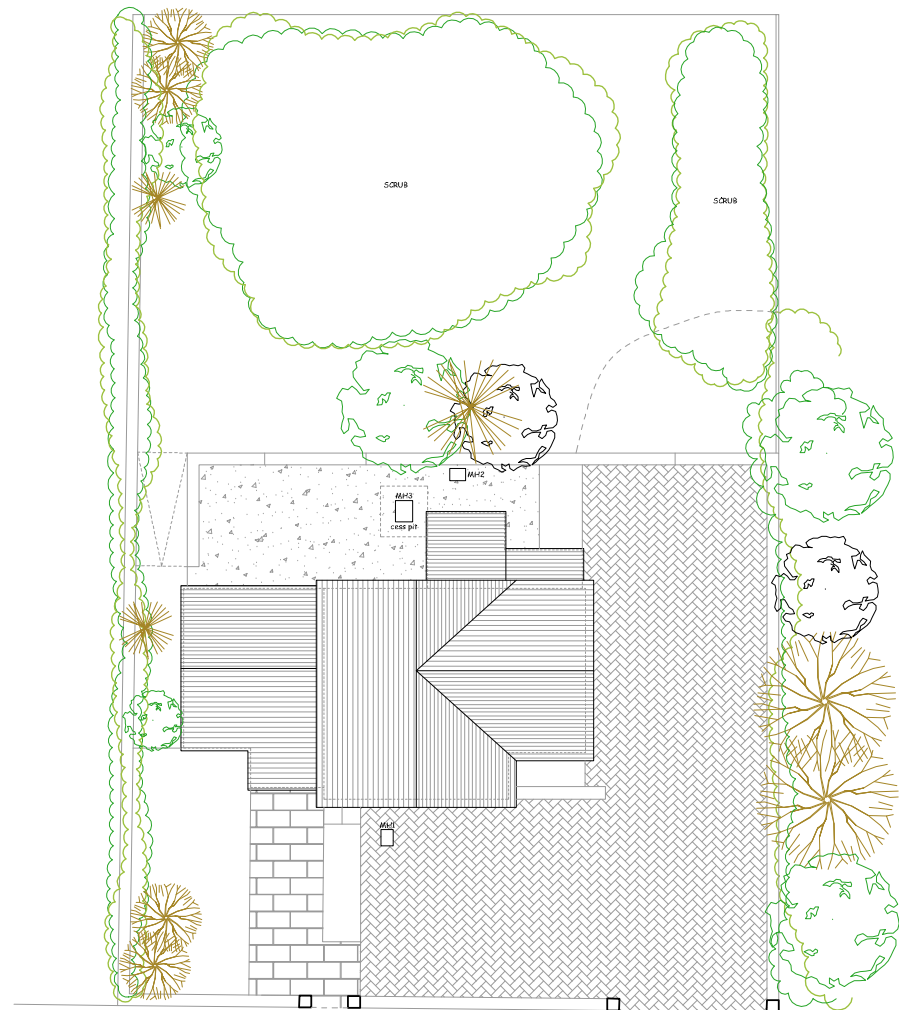
Job **OLD POLICE STATION
COWBRIDGE ROAD
ST. NICHOLAS
CARDIFF
CF5 6SH**

Drawing **LOCATION PLAN**

Number **R568-00 A4**

Scale	Date	Drawn	Checked
1:1250	11/20	LS	

2020/01588/FUL



COWBRIDGE ROAD A48

SITE PLAN



Number R568-02 A3

NOTES:
THIS DRAWING IS COPYRIGHT.
DO NOT SCALE FROM THIS DRAWING.
WORK TO FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE.
ANY DISCREPANCIES TO BE NOTIFIED
TO THE ARCHITECT.

NOTES:
DRAWINGS HAVE BEEN PRODUCED FOR
PLANNING AND BUILDING REGULATIONS
PURPOSES ONLY. THE CONSTRUCTION
(DESIGN AND MANAGEMENT) REGULATIONS
2015 (CDM) IS THE RESPONSIBILITY OF
THE CLIENT/ CONTRACTOR UNLESS
OTHERWISE AGREED IN WRITING.

-	-		-
REVISIONS			



**THE STABLES, THE ESTATES OFFICE, 25-26
GOLD TOPS, NEWPORT, NP20 4PG
PHONE: 01633 744144
EMAIL: admin@ra-architects.co.uk**

**RICHARD ANDREWS ARCHITECTS LTD.
REGISTERED IN ENGLAND & WALES NO.05274171.
REGISTERED OFFICE: GORHAM'S HOUSE, CROWN WAY, GARDIFF, CF14 5UZ**

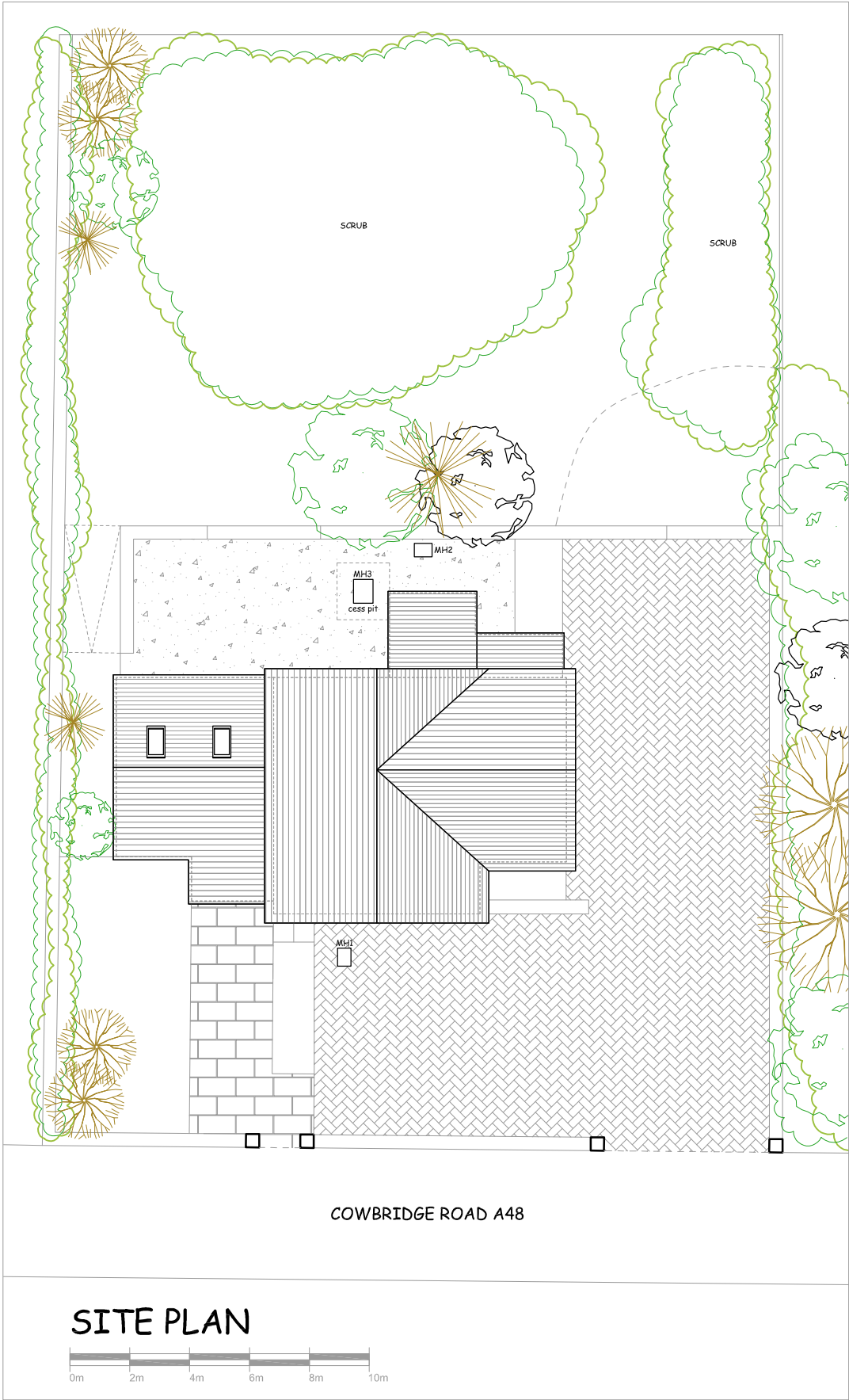
www.ra-architects.co.uk

Job OLD POLICE STATION
COWBRIDGE ROAD
ST. NICHOLAS
CARDIFF
CF5 6SH

Drawing **EXISTING SITE PLAN**

Number R568-02 A3

Scale	Date	Drawn	Checked
1:200	11/20	LS	



2020/01588/FUL

Number R568-10 A3

NOTES:
THIS DRAWING IS COPYRIGHT.
DO NOT SCALE FROM THIS DRAWING.
WORK TO FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE.
ANY DISCREPANCIES TO BE NOTIFIED
TO THE ARCHITECT.

NOTES:
DRAWINGS HAVE BEEN PRODUCED FOR
PLANNING AND BUILDING REGULATIONS
PURPOSES ONLY. THE CONSTRUCTION
(DESIGN AND MANAGEMENT) REGULATIONS
2015 (CDM) IS THE RESPONSIBILITY OF
THE CLIENT/ CONTRACTOR UNLESS
OTHERWISE AGREED IN WRITING.

-	-	-
REVISIONS		

 RICHARD ANDREWS
ARCHITECTS
sustainable:modern:creative

THE STABLES, THE ESTATES OFFICE, 25-26
GOLD TOPS, NEWPORT, NP20 4PG
PHONE: 01633 744144
EMAIL: admin@ra-architects.co.uk
RICHARD ANDREWS ARCHITECTS LTD.
REGISTERED IN ENGLAND & WALES NO.8274171.
REGISTERED OFFICE: COMPANIES HOUSE, GROWN WAY, CARDIFF, CF14 3UZ
www.ra-architects.co.uk

Job OLD POLICE STATION
COWBRIDGE ROAD
ST. NICHOLAS
CARDIFF
CF5 6SH

Drawing PROPOSED SITE PLAN

Number R568-10 A3

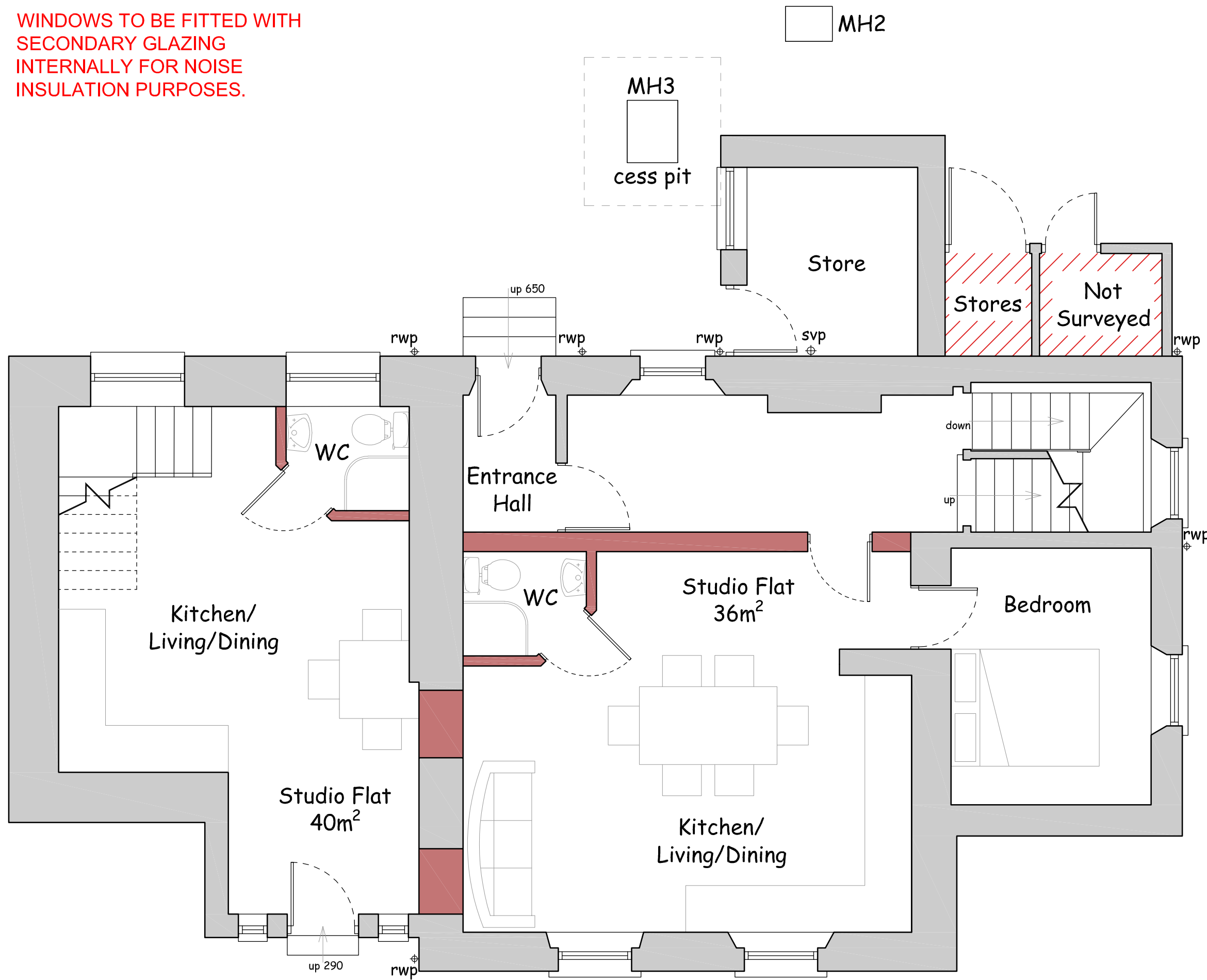
Scale Date Drawn Checked
1:200 10/22 LS

NOTES:
THIS DRAWING IS COPYRIGHT.
DO NOT SCALE FROM THIS DRAWING.
WORK TO FINISHED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE.
ANY DISCREPANCIES TO BE NOTIFIED TO THE
ARCHITECT.

NOTES:
DRAWINGS HAVE BEEN PRODUCED FOR PLANNING AND
BUILDING REGULATIONS PURPOSES ONLY. THE
CONTRACTOR (DESIGN AND MANAGEMENT) REGULATIONS
2015 (CDM) IS THE RESPONSIBILITY OF THE CLIENT/
CONTRACTOR UNLESS OTHERWISE AGREED IN WRITING.



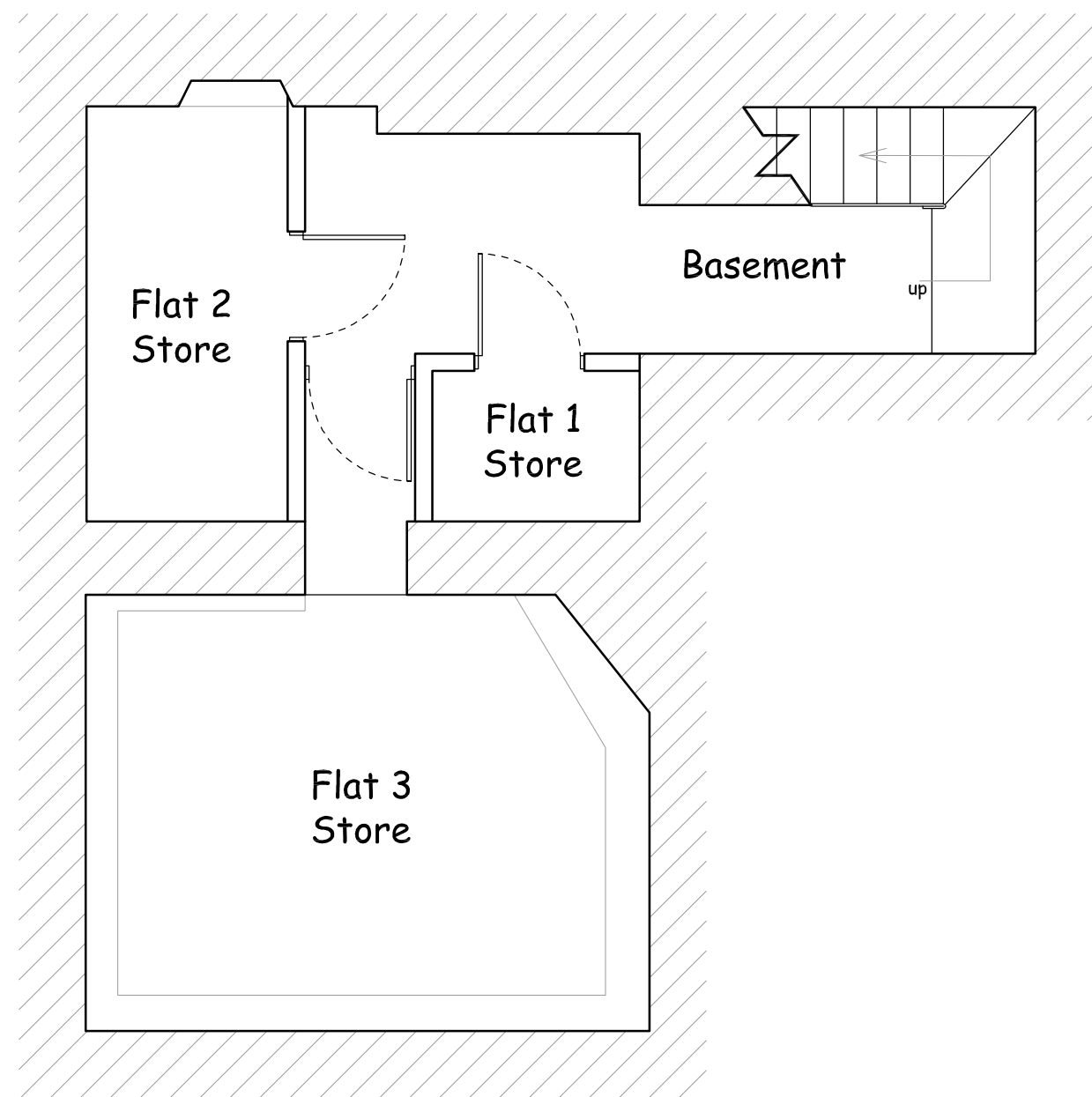
WINDOWS TO BE FITTED WITH
SECONDARY GLAZING
INTERNALLY FOR NOISE
INSULATION PURPOSES.



GROUND FLOOR PLAN



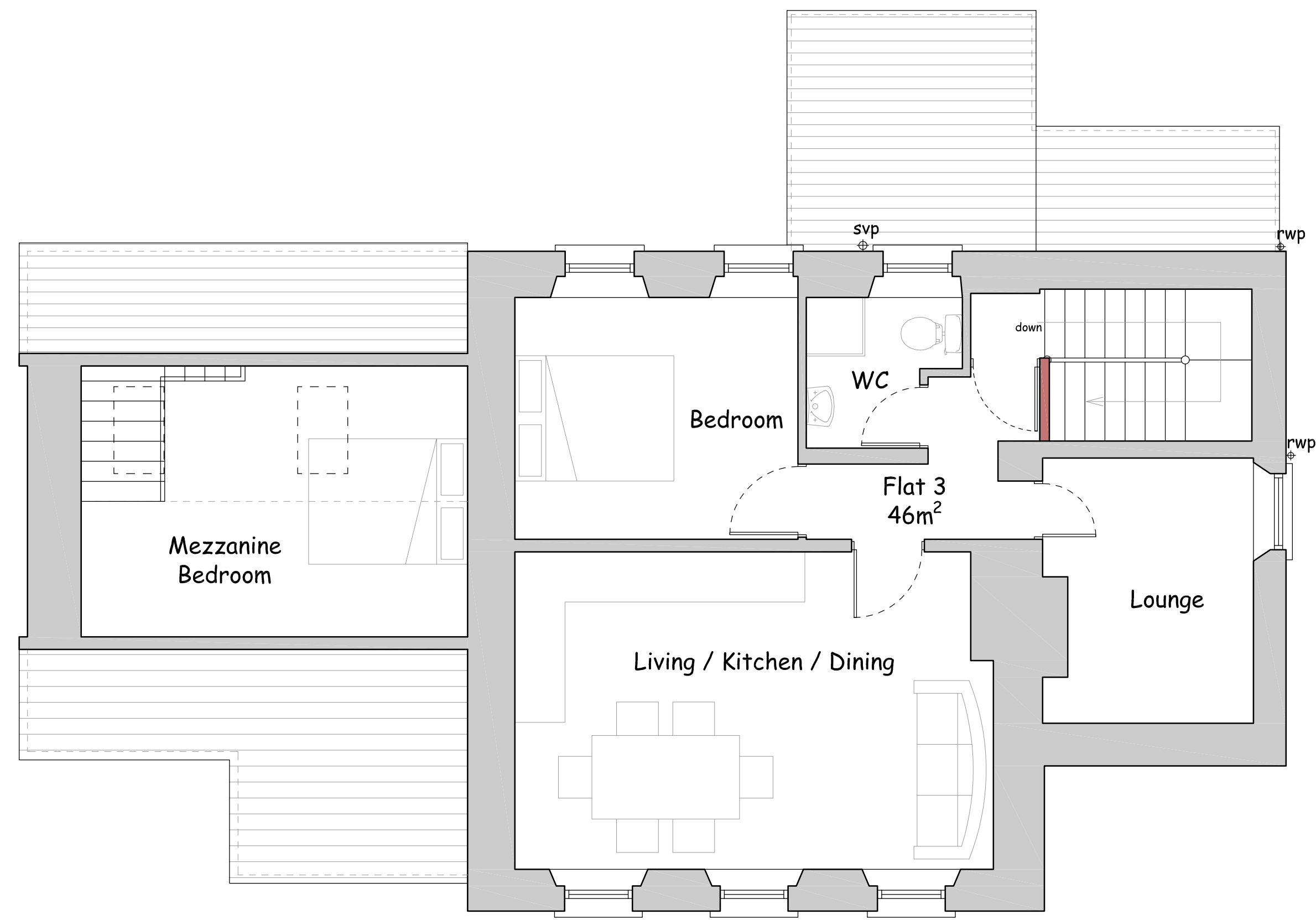
MH1



BASEMENT PLAN



WINDOWS TO BE FITTED WITH
SECONDARY GLAZING
INTERNALLY FOR NOISE
INSULATION PURPOSES.



FIRST FLOOR PLAN



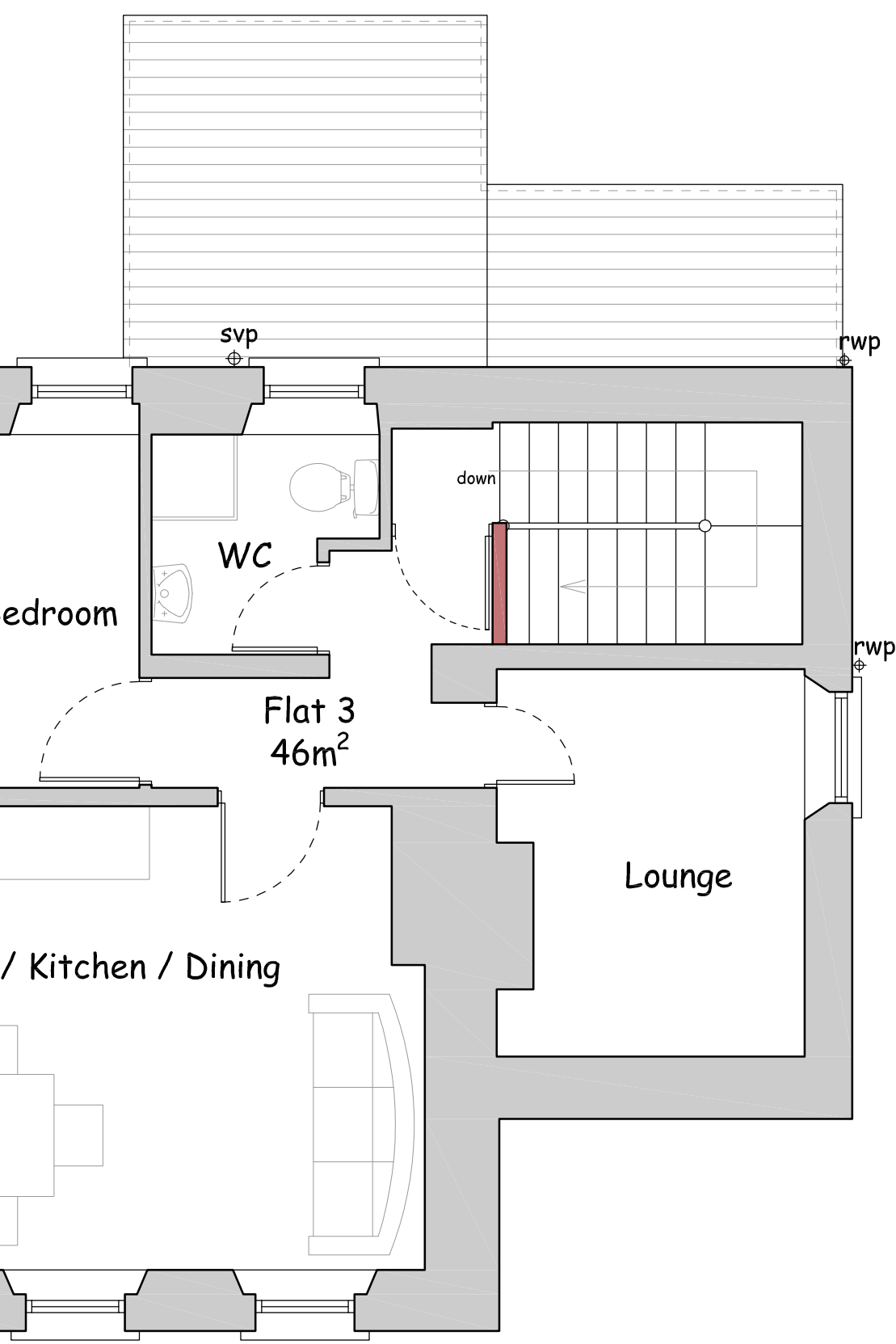
Front Elevation



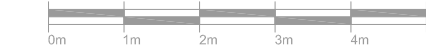
Rear Elevation



2020/01588/FUL



Side Elevation



Drawing No R568-04B A1

NOTES:
THIS DRAWING IS COPYRIGHT.
DO NOT SCALE FROM THIS DRAWING.
WORK TO FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE.
ANY DISCREPANCIES TO BE NOTIFIED TO THE ARCHITECT.
NOTES:
DRAWINGS HAVE BEEN PRODUCED FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY. THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015 (CDM) IS THE RESPONSIBILITY OF THE CLIENT/ CONTRACTOR UNLESS OTHERWISE AGREED IN WRITING.

B	Secondary Glazing	
A	Rooflights moved	
REVISIONS		

RICHARD ANDREWS
ARCHITECTS
sustainable:modern:creative

THE STABLES, THE ESTATES OFFICE, 25-26
GOLD TOPS, NEWPORT, NP20 4PG
PHONE: 01633 744144
EMAIL: r.a@ra-architects.co.uk
RICHARD ANDREWS ARCHITECTS LTD.
REGISTERED IN ENGLAND & WALES NO. 8574171.
REGISTERED OFFICE: COMPANY HOUSE, 20000 HIGH STREET, CARDIFF, CF14 3UZ
WWW.RA-ARCHITECTS.CO.UK

Job OLD POLICE STATION
COWBRIDGE ROAD
ST. NICHOLAS
CARDIFF
CF5 6SH

Drawing PROPOSED PLANS AND
ELEVATIONS

Number R568-04B A1

Scale	Date	Drawn	Checked
1:50	11/20	LS	
1:100			
1:200			

2020/01588/FUL- Old Police Station, St Nicholas

(Photographs taken March 2021)

Approximate Locations of Photographs:



1. View of front of Old Police Station from Cae Newydd



2. Boundary with Milford



3. Site access



4. Western side of building frontage



5. Eastern side of building frontage



6. Eastern boundary with Milford



7. Western boundary with Cedar Parc



8. Western boundary with Cedar Parc



9. Western boundary with Cedar Parc



10. Site access



11. View from access through to rear of hardstanding area



12. View of rear yard



13 View across former "garden" area to the rear of the building



14. View to landscape beyond the site



15. Rear of building, taken from Public Right of Way to east (garage in foreground belongs to neighbour)



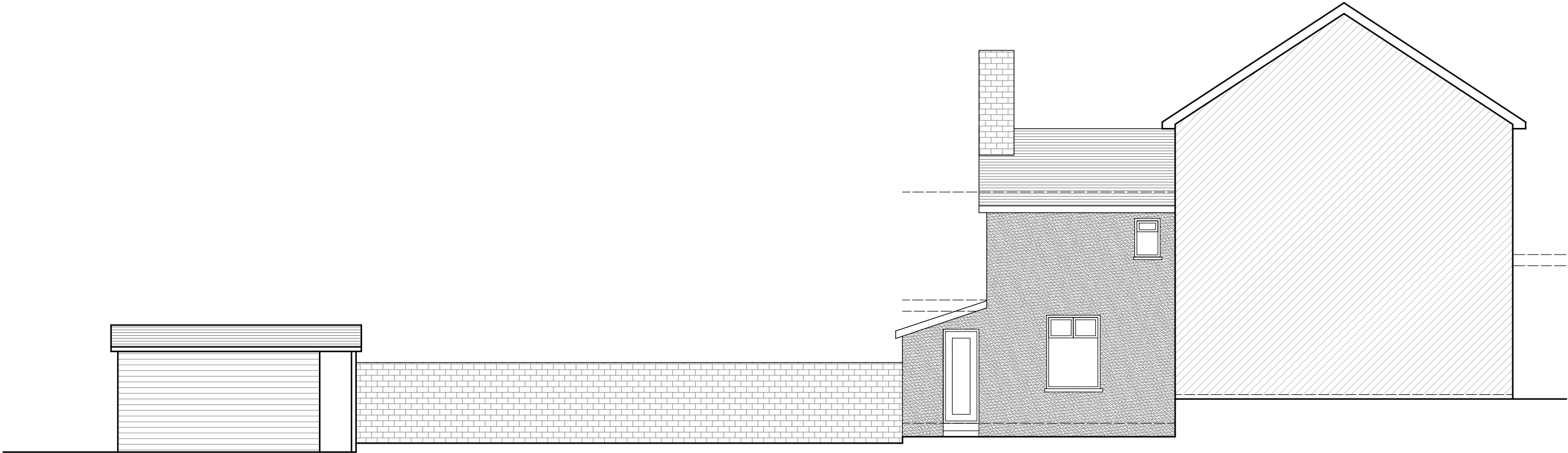
2022/00232/FUL

26 MAR 2020

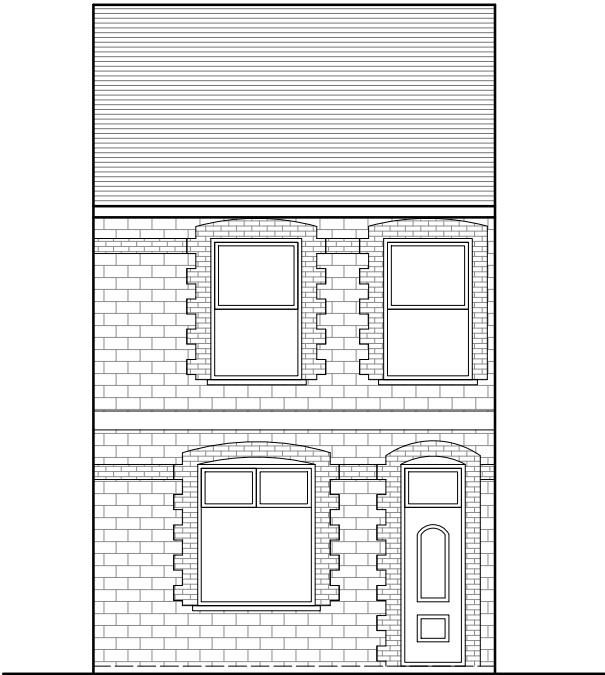


SCALE: 1:1250

Location Plan



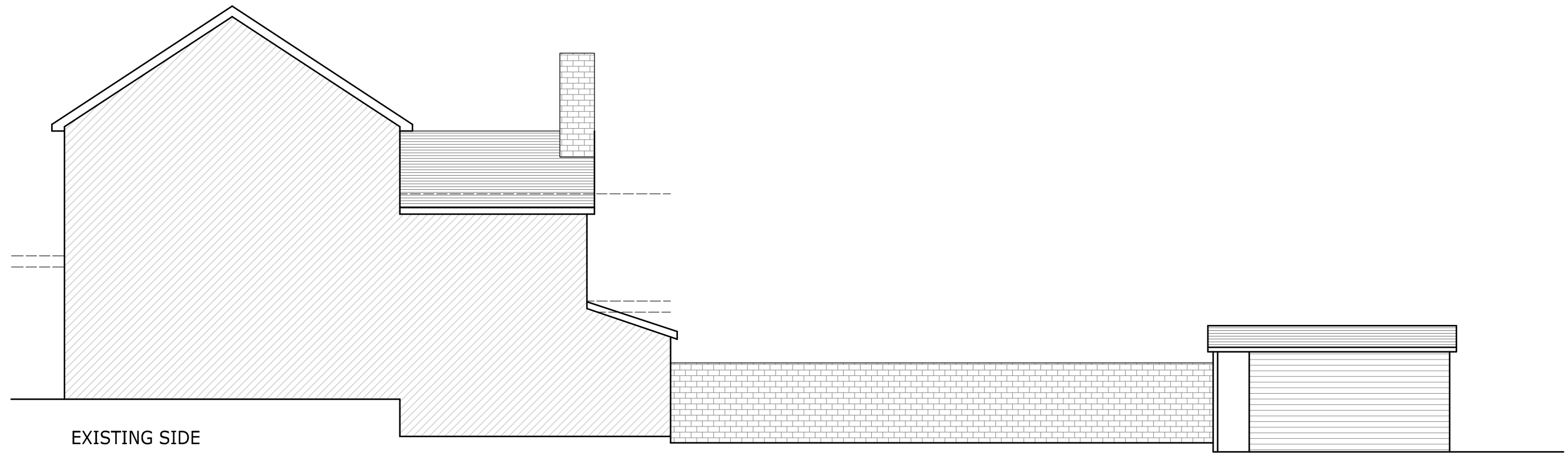
EXISTING SIDE
ELEVATION - A



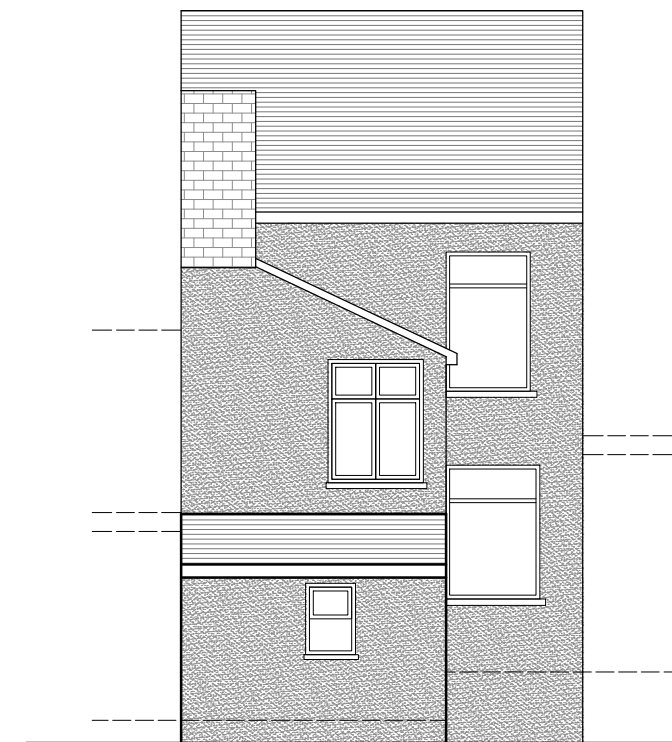
EXISTING FRONT
ELEVATION

2022/00232/FUL

 This drawing is copyright Do not Scale. Contractor to check all dimensions on site and to report any discrepancies directly to the SO.			 SK DESIGNS 585, Cleaver Way, Lakeside, Cardiff, CF23 4DQ Tel: 029 20 761 950 Fax: 029 20 761 950 Email: info@skdesigns.org.uk
Date: FEB 2020			
Project: 36 PILL STREET			
Client:			
Description: EXISTING ELEVATIONS	Job No: 42095	Scale: 1:100 ON A3	
	Dwg No: 102	Drawn By: KG	



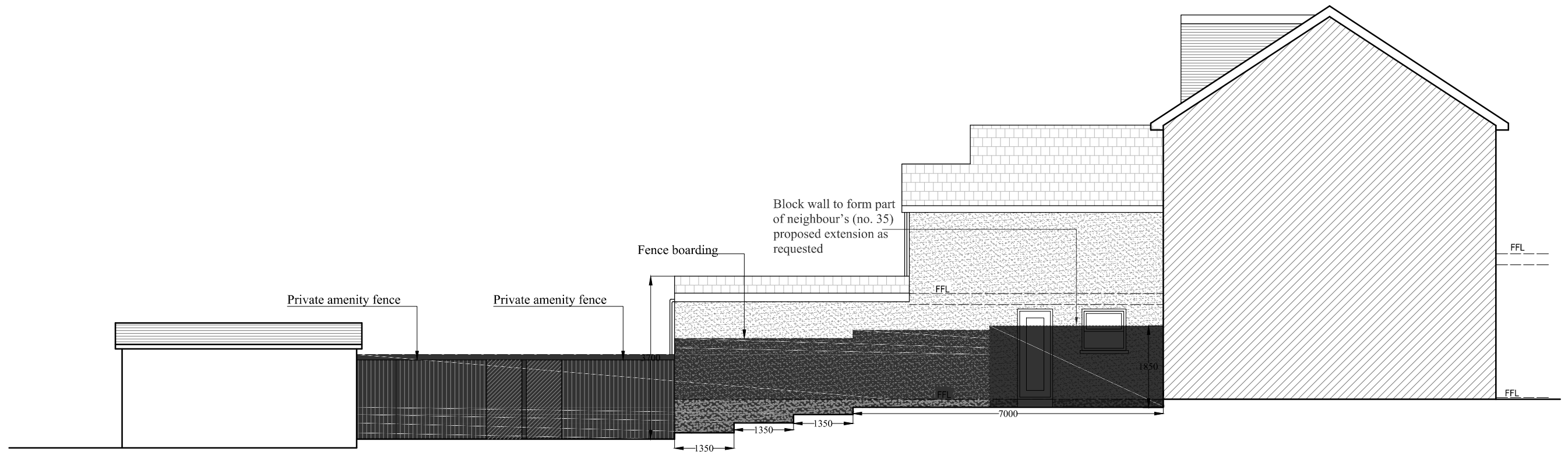
EXISTING SIDE
ELEVATION - B



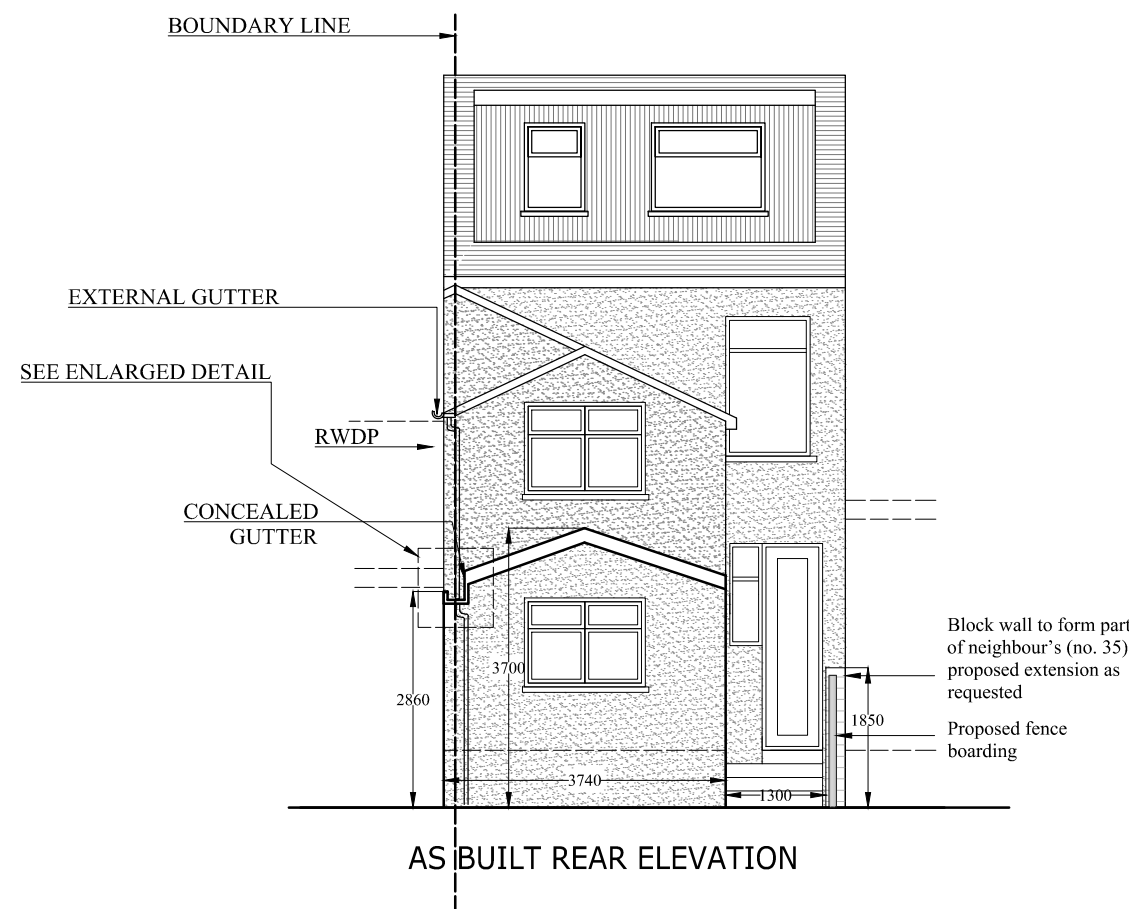
EXISTING REAR ELEVATION

2022/00232/FUL

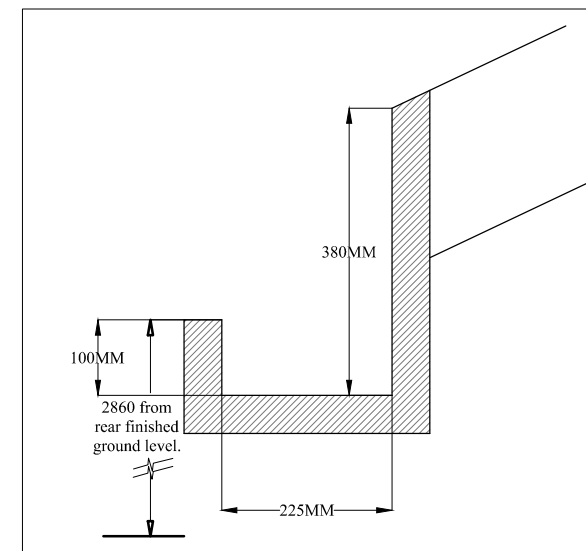
© This drawing is copyright. Do not Scale. Contractor to check all dimensions on site and to report any discrepancies directly to the SO.			 SK DESIGNS SK DESIGNS 585, Cleaver Way, Lakeside, Cardiff, CF23 4DN Tel: 029 20 761 950 Fax: 029 20 761 950 Email: info@skdesigns.org.uk
Date: FEB 2020			
Project: 36 PILL STREET			
Client:			
Description: EXISTING ELEVATIONS			
Job No: 42095		Scale: 1:100 ON A3	
Dwg No: 103		Drawn By: KG	



AS BUILT SIDE ELEVATION - A



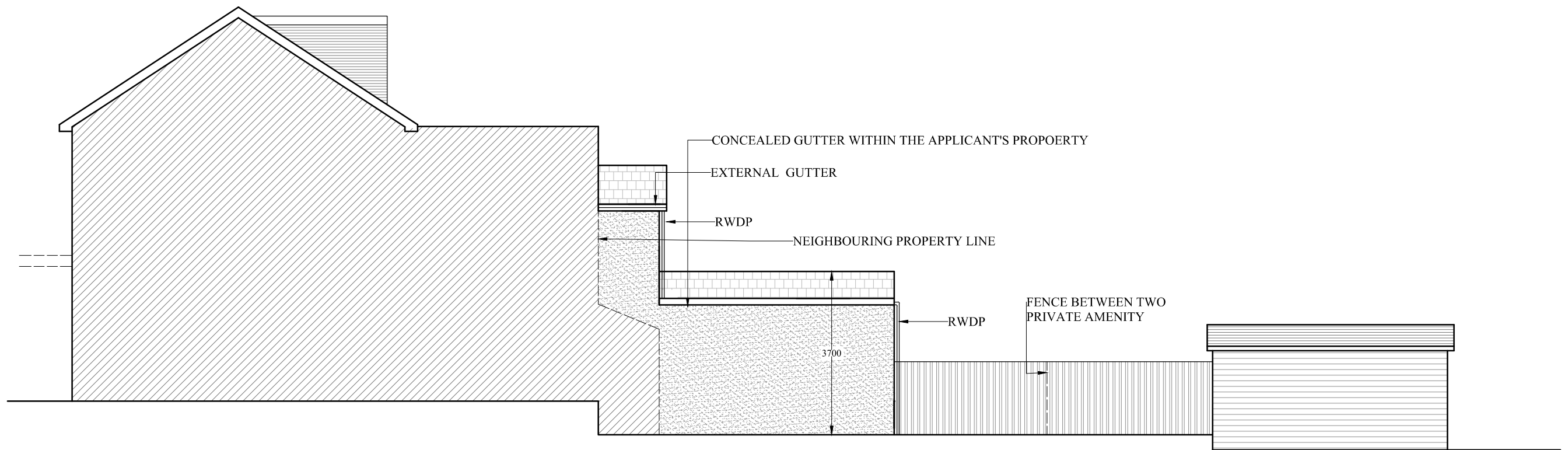
AS BUILT REAR ELEVATION



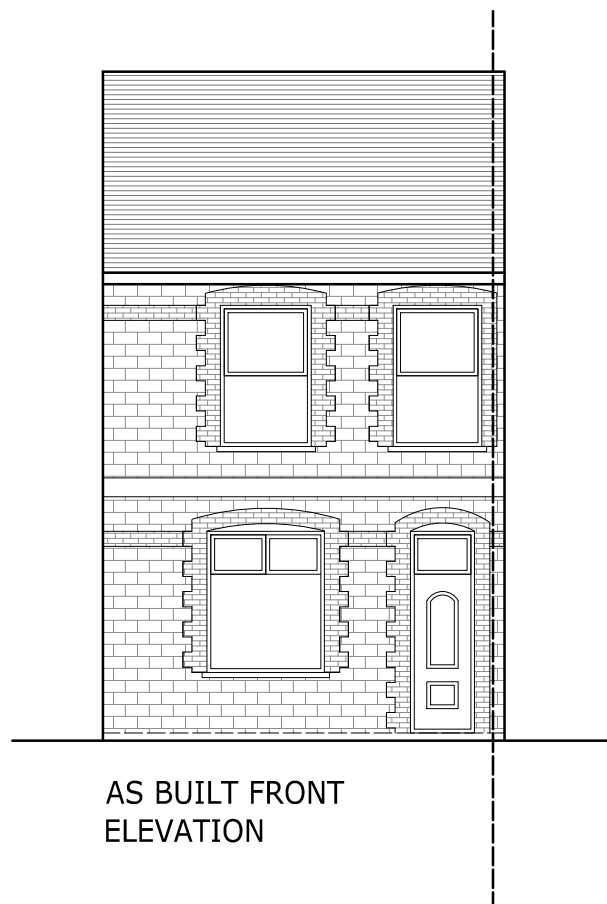
AS BUILT GUTTER DETAIL
SCALE- 1:10

2022/00232/FUL

 This drawing is copyright. Do not Scale. Contractor to check all dimensions on site and to report any discrepancies directly to the SO.			 SK DESIGNS SK DESIGNS 585, Clearwater Way, Lakeside, Cardiff, CF23 4DQ Tel: 029 20 761 950 Fax: 029 20 761 950 Email: info@skdesigns.org.uk
Date: OCT 2022			
Project: 36 PILL STREET			
Client:			
Description: AS BUILT ELEVATIONS			
Job No: 42095	Scale: 1:100 ON A3		
Dwg No: 202 R14	Drawn By: KG		



AS BUILT SIDE ELEVATION - B



AS BUILT FRONT ELEVATION

2022/00232/FUL

 This drawing is copyright Do not Scale. Contractor to check all dimensions on site and to report any discrepancies directly to the SO.			 SK DESIGNS SK DESIGNS 585, Clearwater Way, Lakeside, Cardiff, CF23 4DQ Tel: 029 20 761 950 Fax: 029 20 761 950 Email: info@skdesigns.org.uk
Date: OCT 2022			
Project: 36 PILL STREET			
Client:			
Description: AS BUILT ELEVATIONS	Job No: 42095	Scale: 1:100 ON A3	
	Dwg No: 203 R14	Drawn By: KG	







View from inside ground floor window looking towards rear and garden of number 37

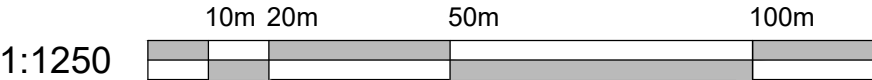






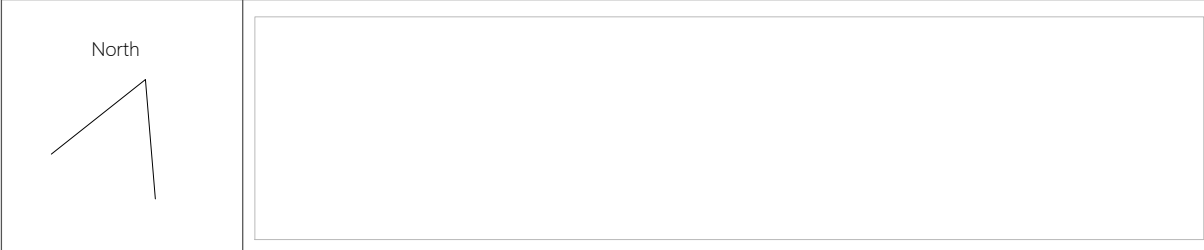
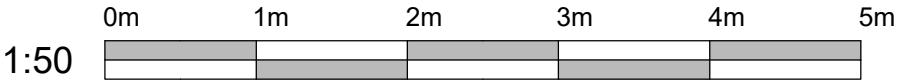
Further change to guttering





North	Client : Vicky & Ben Beach Project : 96 Lavernock Road, Penarth, Vale of Glamorgan Drawing Title : Existing Site Location Plan Drawing No. : 2021/LAVERNOCK/E02 Date : 17.01.22 Scale : 1:1250 @ A4	GLEN THOMAS ARCHITECTURE LTD	ARCHITECTURE & DESIGN STUDIO 112 Kimberley Road, Penylan, Cardiff CF23 5DN www.glenthomasarchitecture.co.uk e. glen@glenthomasarchitecture.co.uk t. 07711 383313
--------------	--	-------------------------------------	--



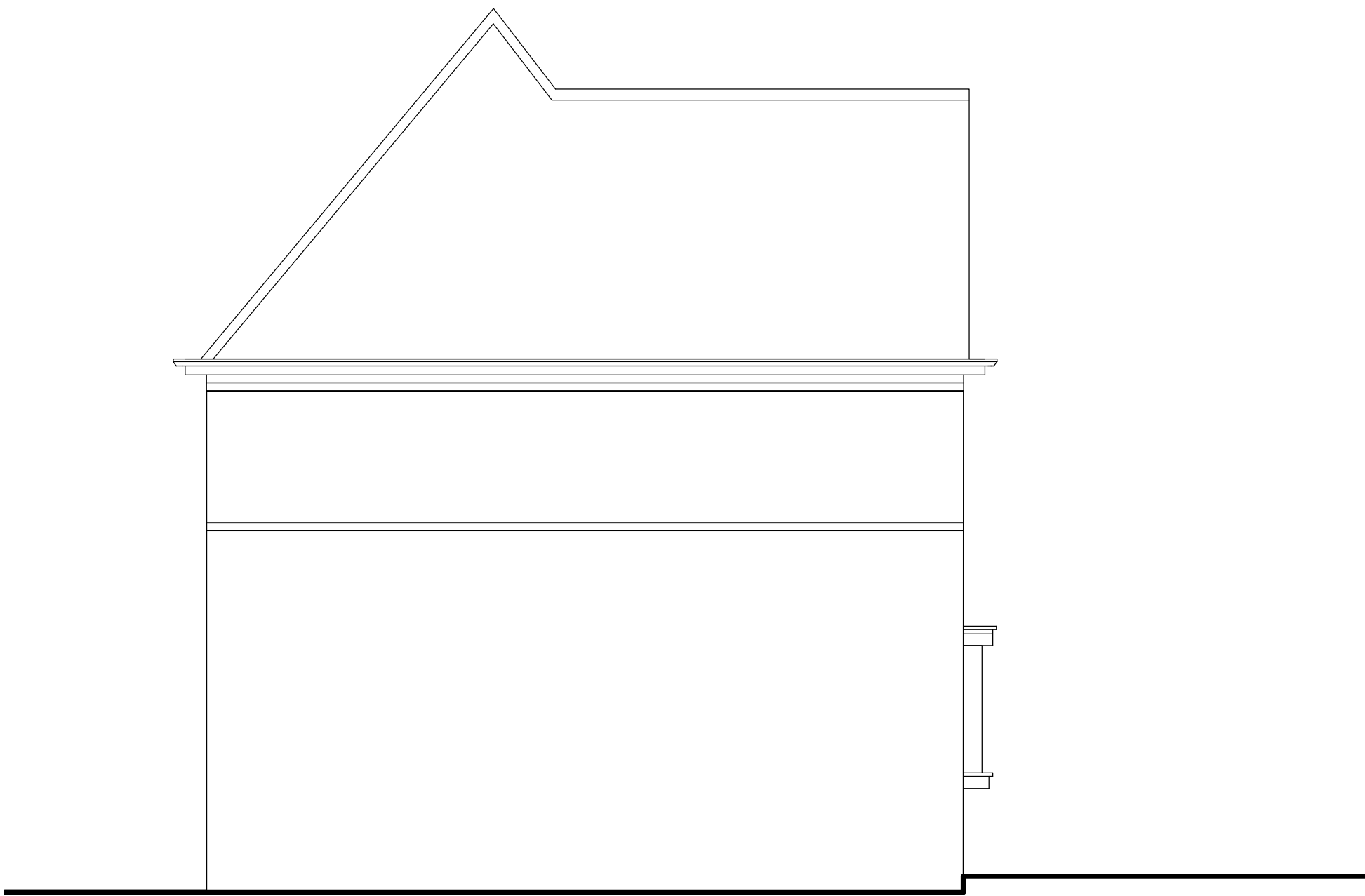


LAVERNOCK HOUSE

Client : Vicky & Ben Beach
Project : 96 Lavernock Road, Penarth, Vale of Glamorgan
Drawing Title : Existing East Elevation
Drawing No. : 2021/LAVERNOCK/E02
Date : 17.01.22
Scale : 1:50 @ A2



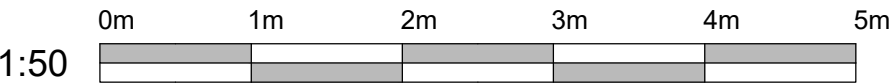
ARCHITECTURE & DESIGN STUDIO
112 Kimberley Road, Penylan, Cardiff CF23 5DN
www.glenthomasarchitecture.co.uk
e. glen@glenthomasarchitecture.co.uk
t. 07711 383313



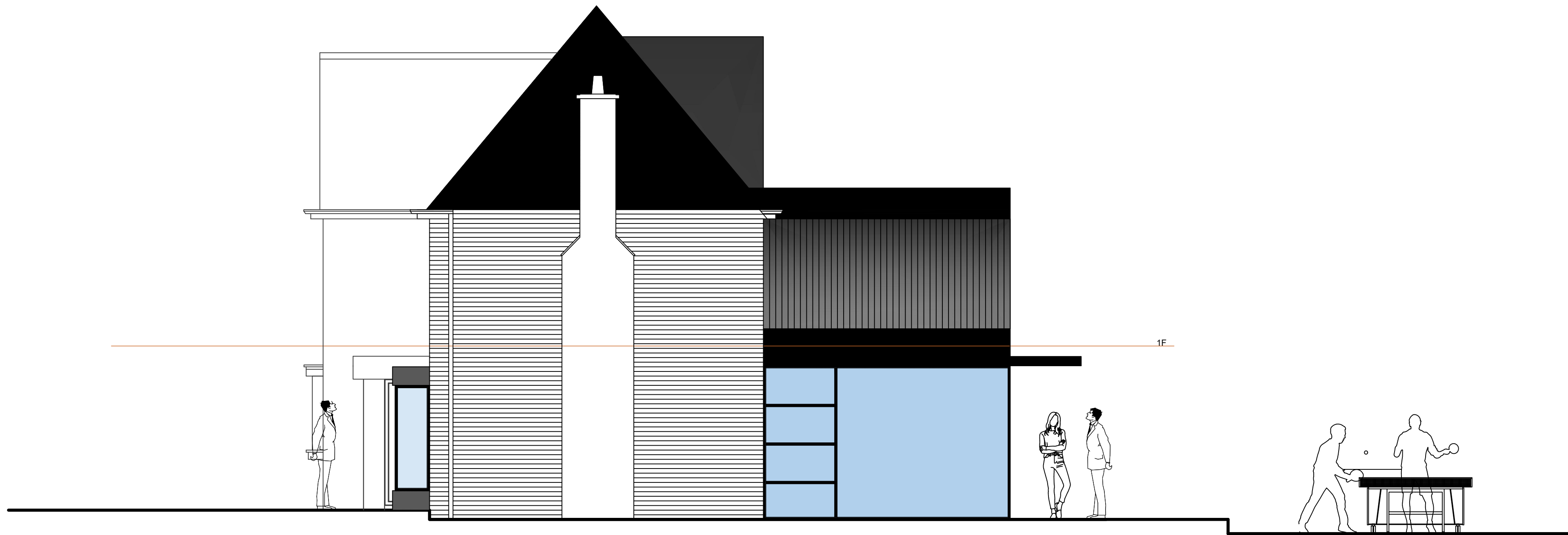
Existing North Elevation 1:50 @ A2



Existing South Elevation 1:50 @ A2



2022/00918/FUL

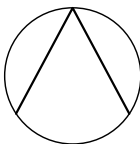


Revision 'b' : 29.09.22 - Privacy screens added & canopy pulled off
boundary of No. 94 by 95cm to reduce overbearing
Revision 'c' : 10.10.22 Proposed Front Bay Windows Revised

North

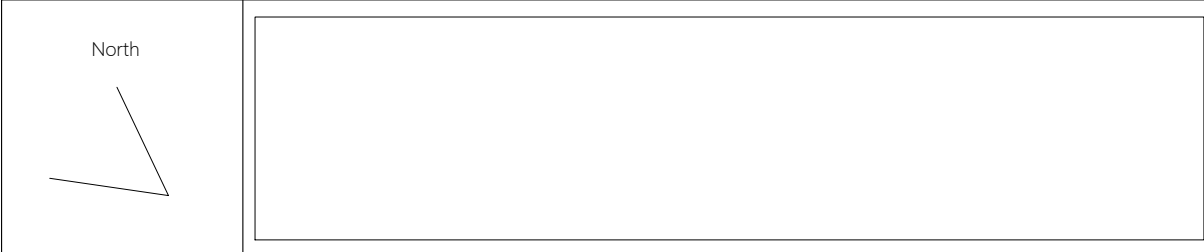
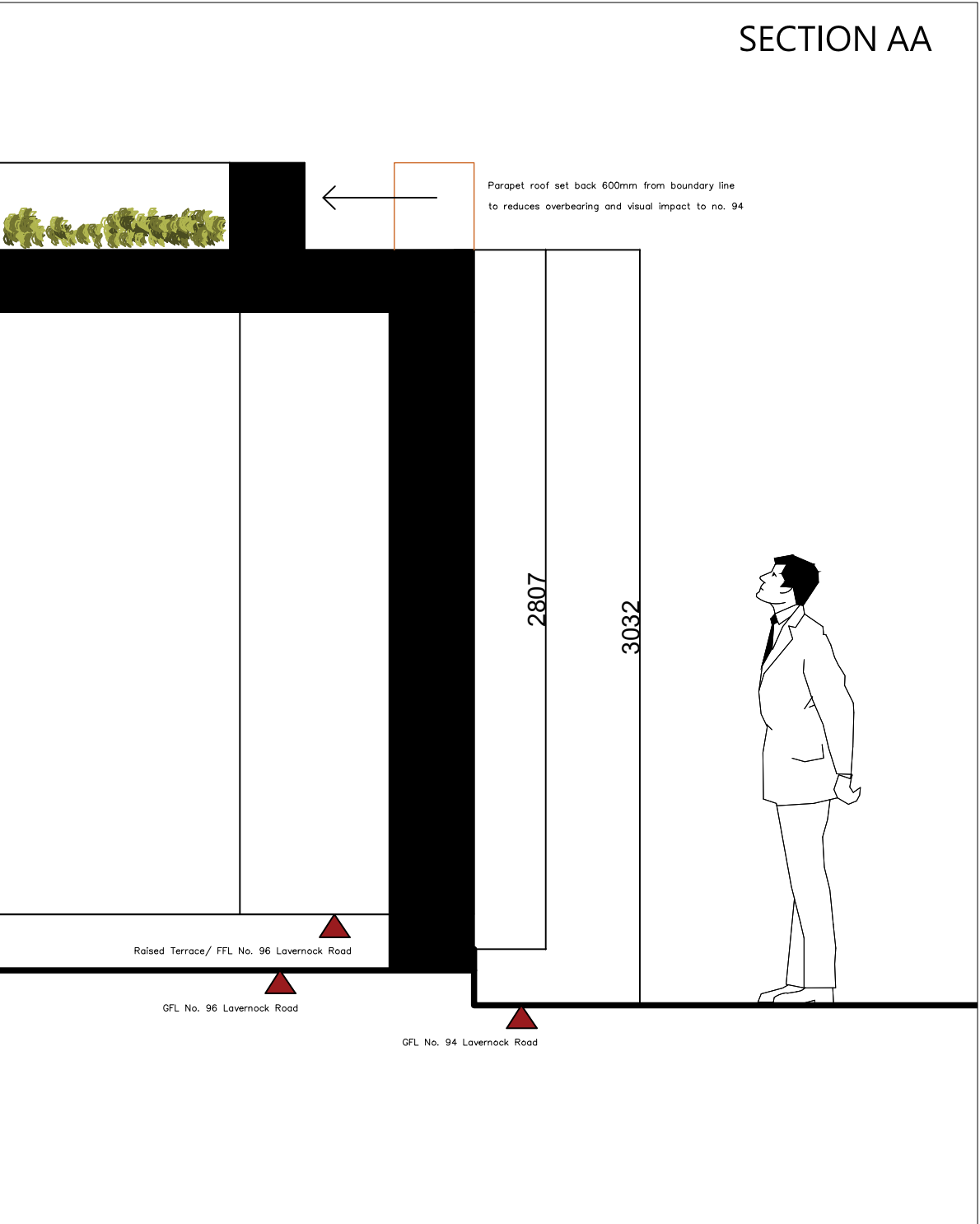
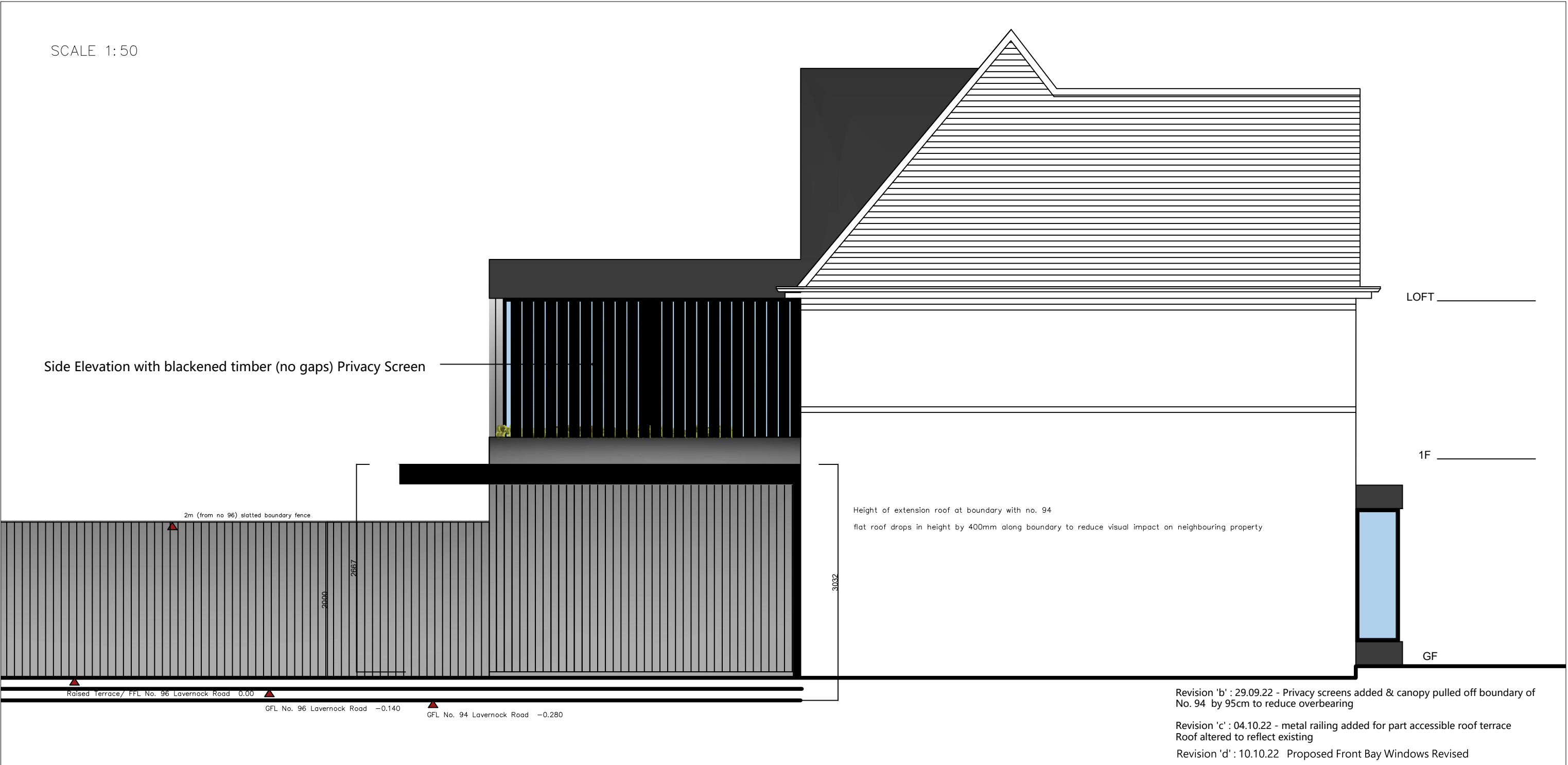
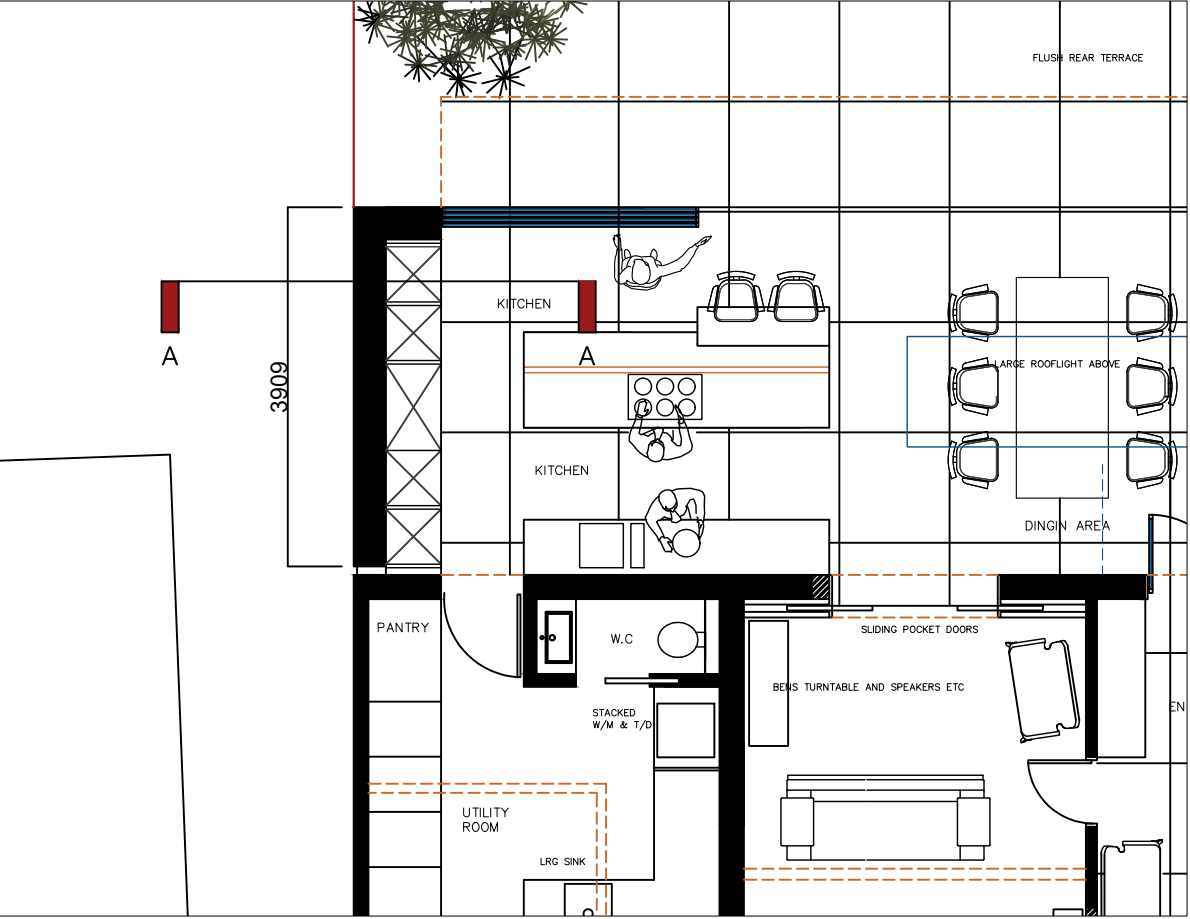
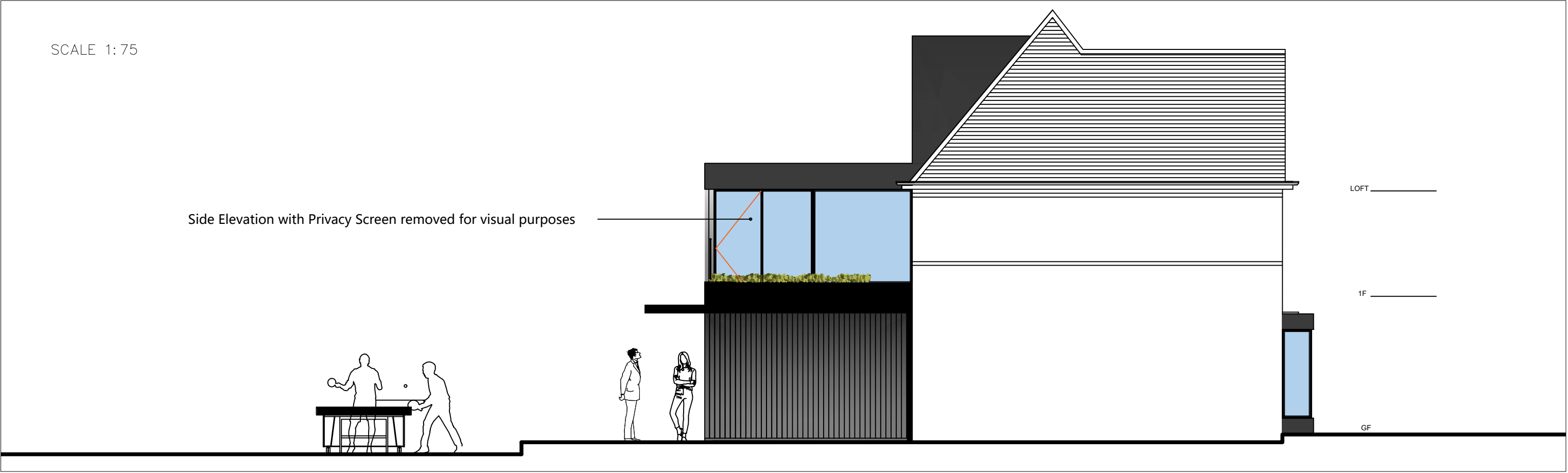
LAVERNOCK HOUSE

Client : Vicky & Ben Beach
Project : 96 Lavernock Road, Penarth, Vale of Glamorgan
Drawing Title : Proposed Side (South) Elevation
Drawing No. : 2022/LAVERNOCK/P09c
Date : 20.07.22
Scale : 1:50 @ A2



GLEN THOMAS ARCHITECTURE LTD

ARCHITECTURE & DESIGN STUDIO
112 Kimberley Road, Penylan, Cardiff CF23 5DN
www.glen-thomas-architecture.co.uk
e. glen@glen-thomas-architecture.co.uk
t. 07711 383313



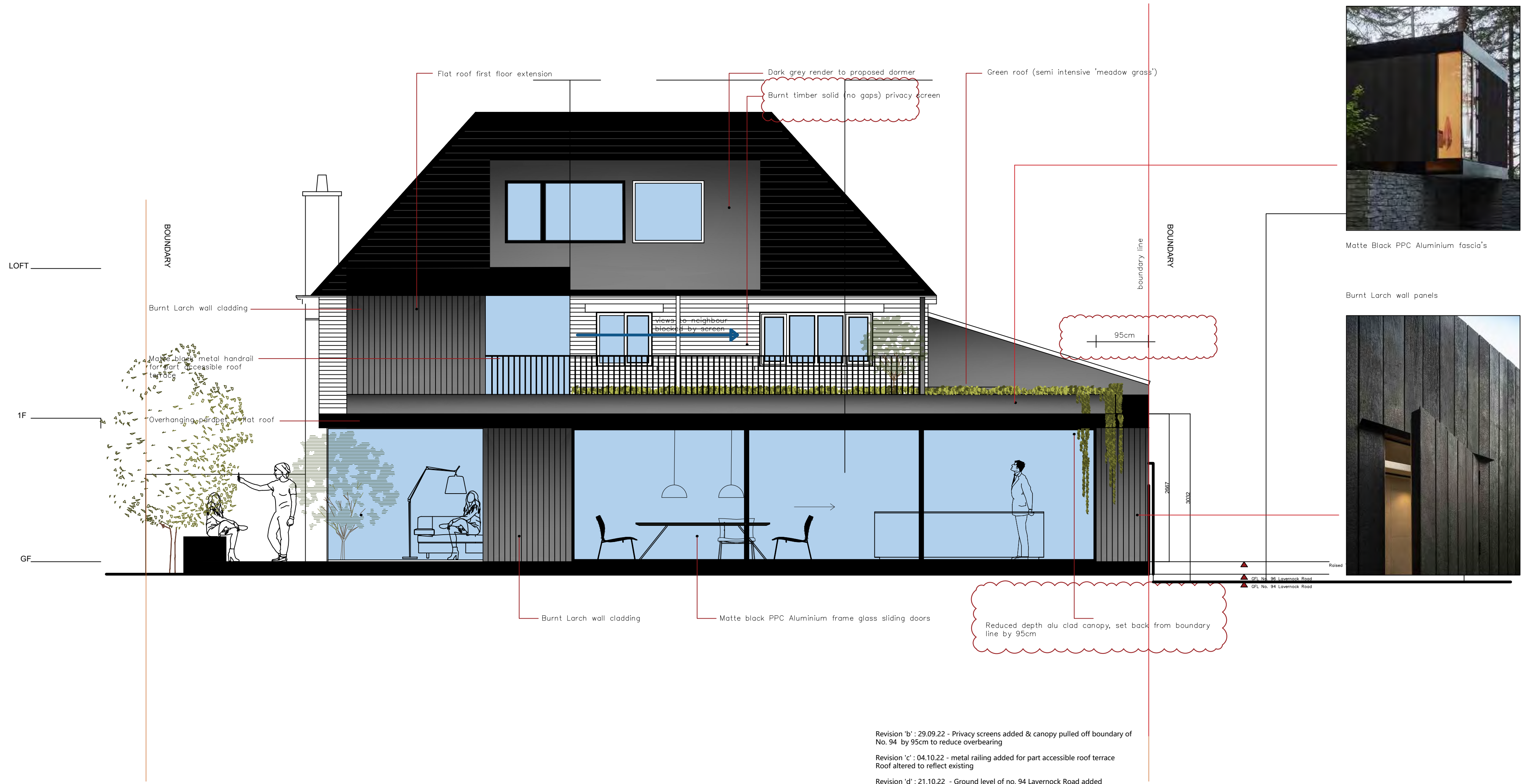
LAVERNOCK HOUSE

Client : Vicky & Ben Beach
Project : 96 Lavernock Road, Penarth, Vale of Glamorgan
Drawing Title : Proposed Side (North) Elevation
Drawing No. : 2022/LAVERNOCK/P10d
Date : 20.07.22
Scale : 1:75 & 1:50 @ A2



ARCHITECTURE & DESIGN STUDIO
112 Kimberley Road, Penylan, Cardiff CF23 5DN
www.glenthomasarchitecture.co.uk
e. glen@glenthomasarchitecture.co.uk
t. 07711 383313

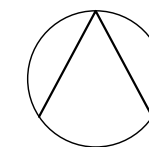




North

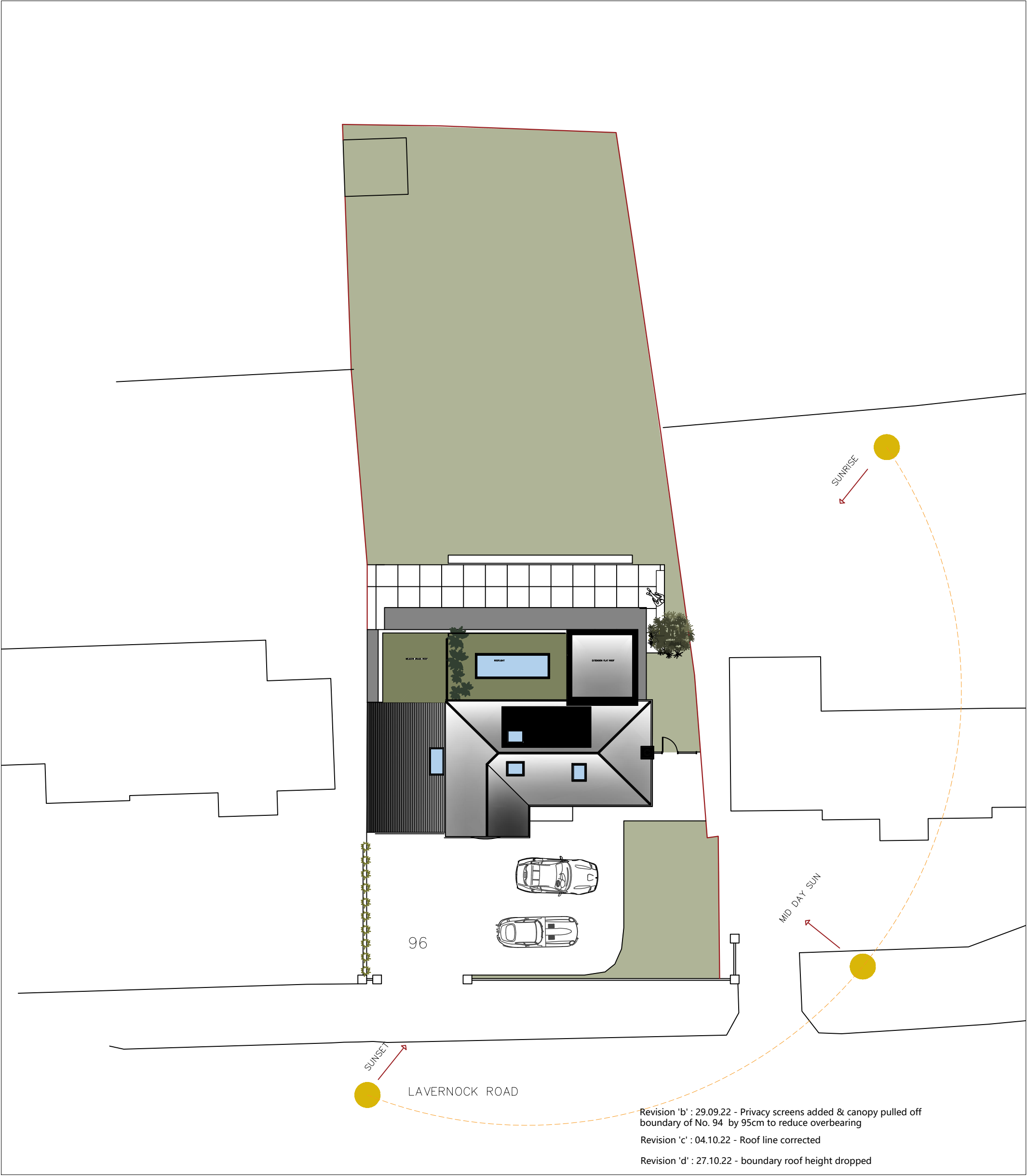
LAVERNOCK HOUSE

Client : Vicky & Ben Beach
Project : 96 Lavernock Road, Penarth, Vale of Glamorgan
Drawing Title : Proposed Rear Elevation
Drawing No. : 2022/LAVERNOCK/P07d
Date : 20.07.22
Scale : 1:50 @ A2



GLEN THOMAS ARCHITECTURE LTD

ARCHITECTURE & DESIGN STUDIO
112 Kimberley Road, Penylan, Cardiff CF23 5DN
www.glen-thomas-architecture.co.uk
e. glen@glen-thomas-architecture.co.uk
t. 07711 383313



North

LAVERNOCK HOUSE

Client : Vicky & Ben Beach
Project : 96 Lavernock Road, Penarth, Vale of Glamorgan
Drawing Title : Proposed Site Plan
Drawing No. : 2022/LAVERNOCK/P01d
Date : 20.07.22
Scale : 1:200 @ A2

GLEN THOMAS ARCHITECTURE LTD

ARCHITECTURE & DESIGN STUDIO
112 Kimberley Road, Penylan, Cardiff CF23 5DN
www.glenthomasarchitecture.co.uk
e. glen@glenthomasarchitecture.co.uk
t. 07711 383313



96 Lavernock Road in the middle



Rear of 96 Lavernock Road and side boundary with 94



From 94 Lavernock Road looking at side boundary with number 96



From 98 Lavernock Road



96 (red brick) and 94 beyond