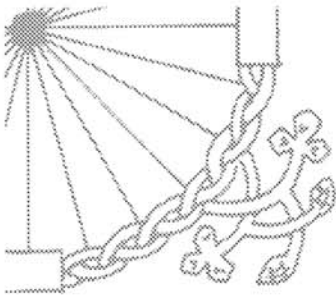


St. Hilary Conservation Area Appraisal

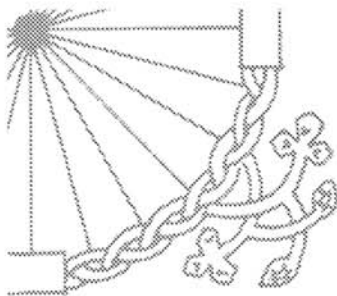


St Hilary Conservation Area Appraisal

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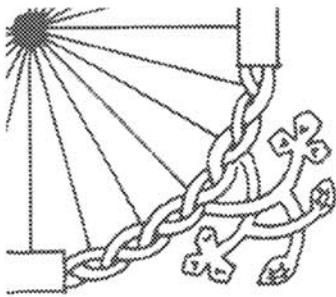
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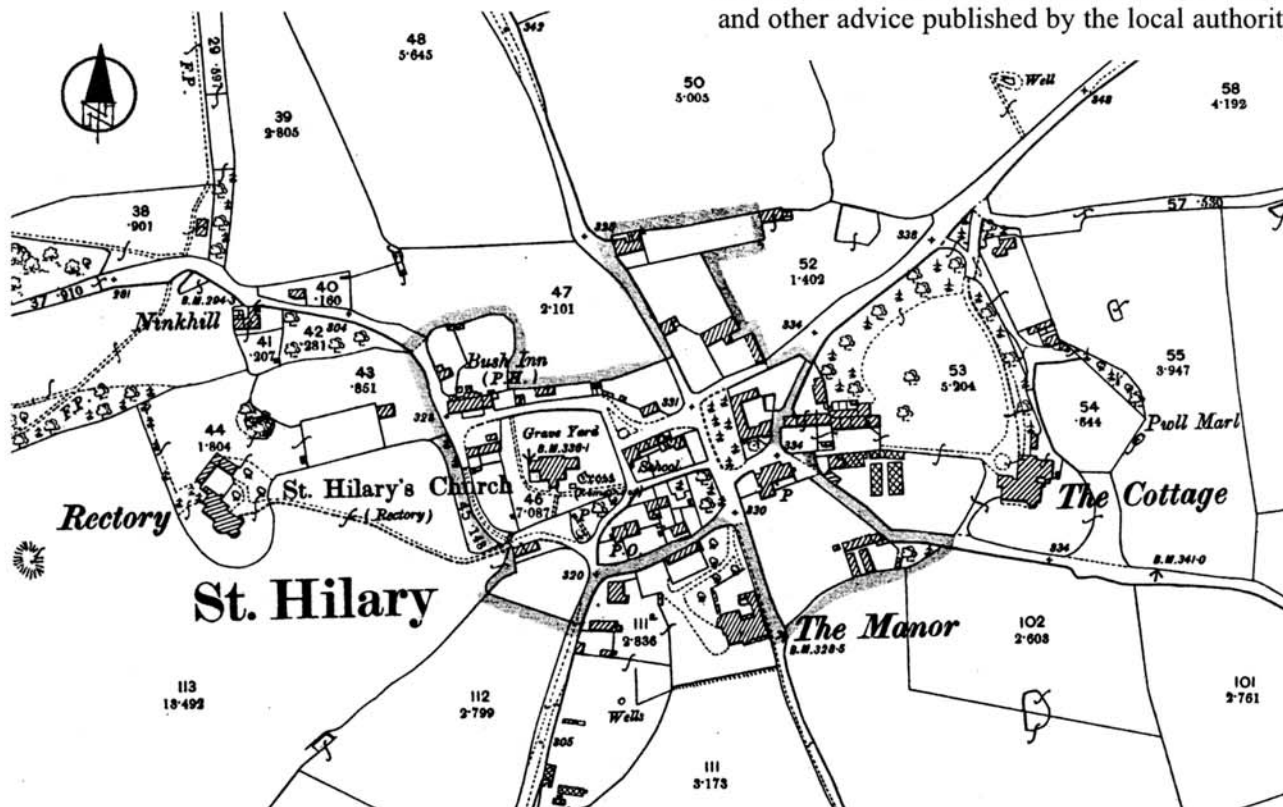
Introduction

1.1 In 1971, the former Glamorgan County Council designated parts of St. Hilary as a Conservation Area. The area was further extended by the Vale of Glamorgan Borough Council in 1977. As part of a programme of assessment and review in all the Council's Conservation Areas, an appraisal of the St. Hilary Conservation Area has been undertaken. A report setting out the findings of the earlier appraisal was approved by the former Council as a document for consultation purposes in January 1996. This report sets out the findings of the early appraisal and an agreed statement on the character of the Conservation Area, and policies for enhancement and protection may develop. The policies were adopted on 27 May 1999.

The appraisal seeks:

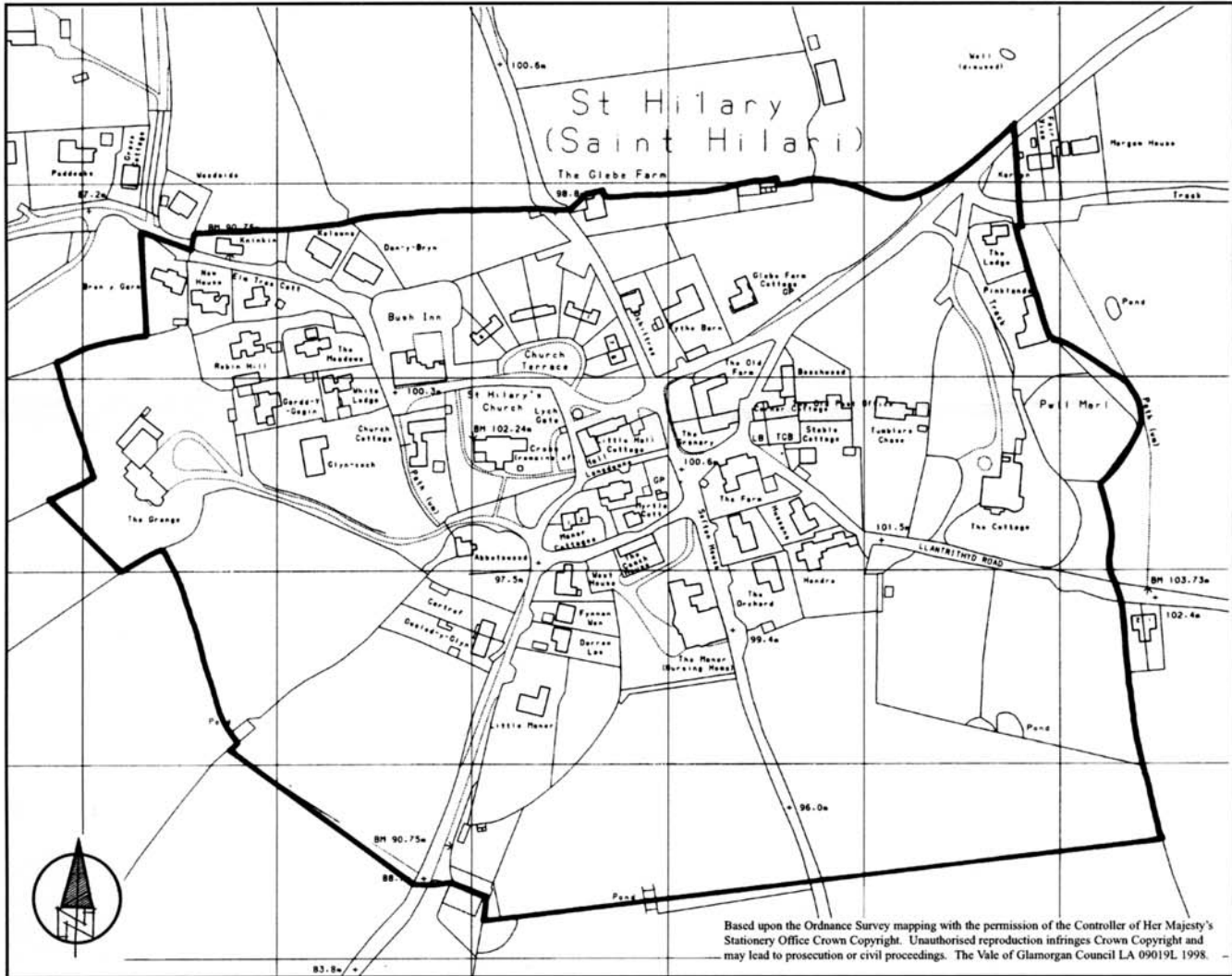
- To assess the elements of the village's character from which policies for conservation and enhancement may develop.
- To provide direction and advice on the form and character of building and development in the future.
- To review the boundaries of the Conservation Area.

1.2 The appraisal is divided into three parts. The first is an assessment of the character of the Conservation Area. The second sets out policies for the enhancement and protection of that character and the third summarizes the policy and provides the framework for linking it to the development plan and other advice published by the local authority.

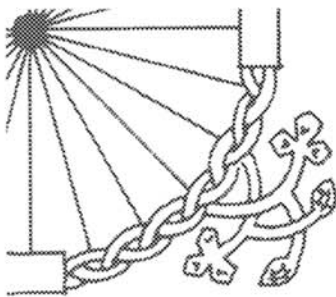


Reproduced from the 1899 Ordnance Survey Map. Not to scale

St. Hilary Conservation Area



Plan 1: Boundary
Not to scale



The Character of the Conservation Area

2.1 THE ORIGINS OF THE VILLAGE

2.1.1 The layout of the village and its environs shows evidence of the early manorial system imposed on the landscape by the Normans in the 12th and 13th Centuries. A number of farms and houses have grown around the early church of St. Hilary, with dispersed farmsteads spread around. The decline of the Manorial system and the growth of the field enclosure movement in the fifteenth and sixteenth Centuries changed the landscape and settlement again, with the growth of large estates owned by rich families such as the Bassetts at Beaupre.

2.1.2 The Industrial Revolution had only an indirect effect on the area. In 1892, The Cowbridge and Aberthaw branch of the Taff Vale Railway was completed, for which there was a small platform and siding near St. Hilary. The Church was heavily restored during this period.

2.1.3 The major changes to the area have occurred more recently, with the development of commuter housing in response to the improvement of the A48, and the popularity of the Vale as a place to live.

2.2 LANDSCAPE AND TREES

2.2.1 St. Hilary is located between the 300' and 400' contour on the south facing slope of St. Hilary Down. Despite its unobtrusive setting in the landscape, it is possible to obtain occasional views to the south and coast, with major buildings such as "The Manor" and "The Cottage" sited to exploit this aspect. To the north of the Bush Inn and Church Terrace there are exposed views towards open fields and the rising ground of St. Hilary Down. The view towards the village from this high ground highlights the compact nature of the settlement, and its rural

aspect, with some fields reaching right into the heart of the village.

2.2.2 Coed-y-Tor, an ancient woodland site, and Coed-y-Seler represent important stretches of woodland (both deciduous and coniferous) which add to the rural setting of the village on its north-western edge. The setting of the village is further enhanced through secluded approaches along sunken lanes and roads enclosed on either side by banks and hedging.

2.2.3 A significant feature of the Conservation Area is the contribution made by the indigenous landscape. Trees include a variety of mature native species, including sycamore, chestnut, beech, elm, ash, oak, lime, evergreens such as pine, yew, cypress and ornamental trees such as holly. The importance trees play in forming the character of the Conservation Area is recognised by the large number of trees covered by the County of Glamorgan Tree Preservation Order (no. 7) 1972. The major tree groups are identified on Plan 2.

Of significance are strategically located groups of hardwoods surrounding "The Manor", "The Vicarage", and to the northwest of "The Cottage".

2.2.4 St. Hilary has retained much of its rural character through the retention of grass margin strips along roads, bounded by traditional limestone walling and hedges. However, in some places the introduction of modern kerbing has created a more suburban feel. Important frontages are identified on Plan 3.

2.2.5 Street lighting within the village is not of a consistent design and does not reflect the character of the Conservation Area. There is also a network of overhead telephone wires marring the setting of many of the older buildings.

2.2.6 Two main areas of open space exist within the village. One is the formal "village green" area outside Church Terrace, whilst the other is the more informal area behind St. Hilary Church. This was established to celebrate the 900th anniversary of the village, and is now maintained by the Community Council. Both areas provide opportunities for seating and recreation

2.3 ARCHITECTURE AND BUILT FORM

2.3.1 The village comprises a network of small lanes and pathways centred around the Church and a number of former farm holdings. A green with a crescent of new houses adjoins the Church. The buildings are mostly two storeyed cottages and farm buildings built of the local stone and roofed with Welsh slate. There are also some good examples of thatching at Old Hall Cottage, the Bush Inn, and the Kninkin.

2.3.2 The north east corner of the village has been extended into the shallow valley to the west of the Bush Inn, by new building in a wide variety of styles.

2.3.3 The most conspicuous feature in the architecture of the village is the quality of the local random rubble limestone walling which is enhanced by stone dressings to window and door surrounds. The distribution of these materials together with the wide use of limestone boundary walling has determined the special character of the village centre.

2.3.4 The vernacular tradition can be in strong contrast to modern building forms which are often out of scale and illustrate a strident use of contemporary building materials, design and construction. White painted smooth sand/cement renders used in conjunction with poorly laid and pointed stone, have proved to be poor substitutes for the traditional styles and materials of the Conservation Area.

2.3.6 Listed Buildings and Buildings of Note

There are currently eleven listed buildings in the Conservation Area. These are:

- The Church of St. Hilary. (listed Grade II*)
- The Basset Family Tomb Enclosure.
- The Churchyard Cross.
- The Cottage.
- Pig Sty in the Garden of Church Cottage.
- Telephone kiosk, Llantrithyd Road.
- The Manor.
- No's 1 and 2 Manor Cottages.
- The Bush Inn.
- Village Farm.

Other buildings of note which are not included in the Statutory List of Buildings of architectural or historic interest are described briefly below:

a) The Lodge:

This was formerly the lodge to the Cottage. Although it remains small it was altered and extended in the 19th century.

b) The Barn:

This stone tythe barn has been restored and converted, but retains much of its original character by the retention of original openings, ventilation slits and slate roof. The yard was formerly cobbled.

c) The Old Farm:

This is a modernised farmhouse set around paved courtyard, with outbuildings converted to residential use as well.

d) The Post Office:

This is a 17th century house with Tudor arched dressed stone, champhered doorways and beamed ceilings. Stone walls and front gables remain.

e) Little Hall Cottage:

This is a 17th Century cottage which has been heavily restored with the addition of eyebrow windows within the roof.

d) Kninkin Cottage:

This stone cottage is 15th century in origin, with thatched roof and stack, square headed diamond

paned casement windows with central square headed doorway.

2.4 CHANGE IN THE VILLAGE

2.4.1 Of about 40 residential properties within the village, over half have been constructed since 1945. This figure includes some recent barn conversions.

2.4.2 The popularity of the village as a commuter settlement has led to this expansion. As a result, there is little capacity for further housing within the village without detriment to the character of the Conservation Area. This trend has been acknowledged in planning policy and is reflected in Policy HOUS 3 of the Vale of Glamorgan Unitary Development Plan, Deposit Draft. The Policy states:

"The erection of dwellings in the open countryside and within those rural villages not identified in policies HOUS 2, will not be permitted unless such developments can be justified in the interests of agriculture or forestry."

2.4.3 This policy, together with the duty of the Council to conserve and enhance the character of the Conservation Area sets the planning framework within which any proposals for development within the St. Hilary Conservation Area will be judged.

2.5 THE PLANNING CONTEXT

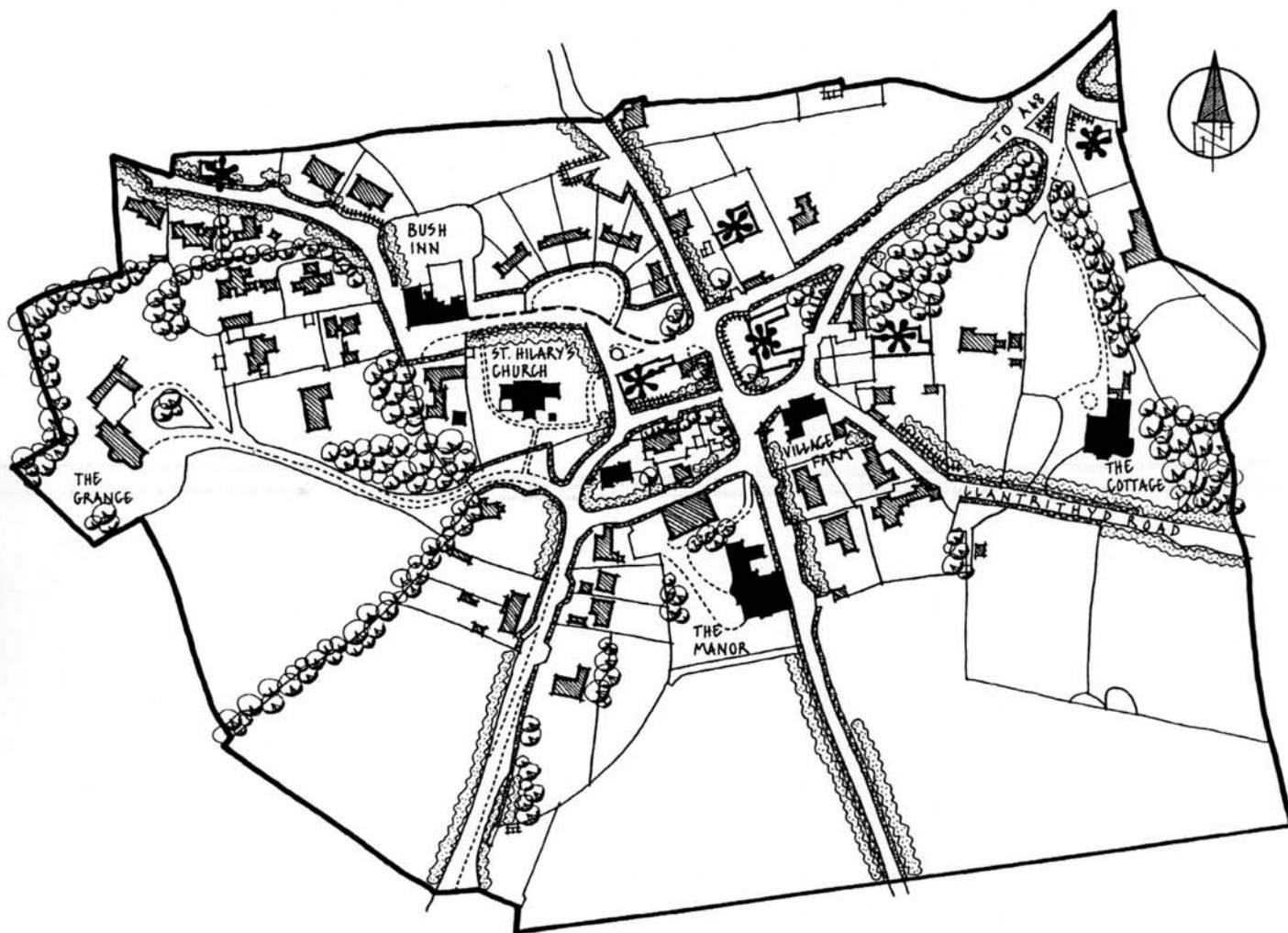
2.5.1 The village is not identified as a village where new development may take place, and the Draft deposit UDP recognises that the village does not have the form or capacity to assimilate new development without having a detrimental impact on its existing character and environment. As a result, Policy HOUS 3 referred to above applies.

2.6 THE CONSERVATION AREA BOUNDARY

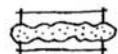
2.6.1 The present boundary of the Conservation Area encompasses the entire historic core of the

village. It also reflects the rural and landscape context of the settlement by including several surrounding fields, particularly to the south. To the northwest, this rural aspect has been lost through recent development within the valley. However, this area still maintains substantial tree cover, and retains the intimate sunken lane which runs into the valley to the south west.

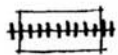
St. Hilary Conservation Area Appraisal



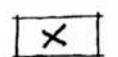
Wall



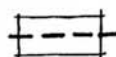
Hedge



Fence



Brick



Modern/inappropriate kerbing



Important trees/
tree groups



Listed buildings

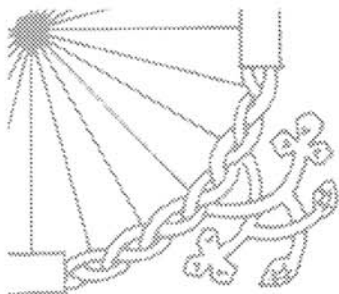


Building of note

Plan 2: Survey

(Not to scale)

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Proposals for the Management and Enhancement of the Conservation Area

3.1 This section sets out proposals and policies which can enhance the character of the Conservation Area and the features described above. Policies which will be taken into account in the determination of planning applications are underlined and should be read in parallel with Supplementary Planning Guidance prepared for village Conservation Areas in the rural Vale. A brief explanatory note is set out below each policy.

3.2 LANDSCAPE AND TREES

● **Proposals will provide for the care, maintenance and enhancement of trees and woodland areas within Conservation Areas.**

Development will give high priority to landscape design, to protect and enhance the external view of the village.

3.2.1 Mature trees play an important part in the character of the village. Many were planted in response to the needs of former estate owners. However, some mature trees now appear to be of substantial age, and many have a limited life span.

3.2.2 Consideration should be given to proposals which provide for the future maintenance and enhancement of tree groups. This may be achieved by a programme of underplanting adjacent to existing mature trees in anticipation of their future deterioration.

3.2.3 An initiative designed to promote new planting should take account of the need to enhance private gardens and land within which many trees are situated. Community action is critical for such an initiative to work and support should be provided to investigate the potential sources of funding available.

3.2.4 A full survey of the trees within the Conservation Area, including updating Tree Preservation Order (No. 7) 1972, should be carried out as soon as resources permit.

● **To enhance the view of the village from without, new development will give a high priority to the treatment of boundaries and settlement edges.**

3.2.5 Plan 1 shows the important contribution stone walls make to the village by providing a sense of enclosure to buildings groups. Where possible, residents should be encouraged to maintain and retain stone boundary walls and hedges. Wooden fences should be avoided and replaced by more traditional forms of enclosure. Recommendations regarding their design is dealt with in an Appendix to this document.

3.3 HIGHWAYS

● **Where highway improvements are required, they should respect the character of the Conservation Area.**

Parking and access required by new development should be accommodated within developments, and respect existing road layouts and the character of open space and garden enclosures.

In replacement and repair, original local detail in the highway should be retained and repaired. Where due to cost and practicality, detail cannot be reinstated replacement should be undertaken using sympathetic materials and fittings.

The Council and Agents for development should seek to design road layouts and

alterations with regard to the loose knit appearance of the village. In particular, highway design should seek to:

- Reduce traffic speeds through the village,
- Minimise the use of concrete kerbs and other urban elements,
- Encourage flexibility in the size and layout of access points and visibility splays,
- Encourage flexibility in the design and arrangement of parking to meet parking guidelines.

3.2.7 The way the traditional road pattern is now used by contemporary traffic has led to profound changes in the character of the village. The policies set out above seek to encourage a flexible approach in the balance between safe roads and the maintenance of the village's character.

3.2.8 The character of the Conservation Area is adversely affected by a network of overhead telephone wires. Suppliers should be encouraged to replace existing overhead wires with underground cables in rerouting or refurbishment proposals. All other new cable services should be provided in the same manner.

3.2.9 The area of public open space outside Church Terrace would benefit greatly from the removal of overhead wires. There is also potential for similar enhancements to the area of open space behind the Church.

3.2.10 Highway design can have an impact on the character of the Conservation Area. Verges are an important feature of the village, and should be properly maintained. Modern kerbing, as found in front of Church Terrace, and at the entrance to "Glebe Farm Cottage" is particularly inappropriate.

3.4 IMPORTANT OPEN AREAS.

◆ **The development of open or woodland areas that contribute to the character of the Conservation Area will be opposed.**

Protect and enhance the built form of the village, the following open spaces should be protected from development.

i) Key frontages on the approaches to the village.

These are areas where the boundary walls, roadside verges and land behind, enhance the rural character of the village and the simple building forms at its centre. These are shown on plan 3 and are described below:

- a. The approach roads from the A48, north and south frontages.
- b. The Llantrithyd road, north and south frontages.
- c. The approach road from St. Mary Church.
- d. The approach road south of "The Manor".

ii) Open areas within gardens.

There are three sites on the edge of the village sited in extensive landscaped grounds whose low density form and character are important to the setting of the Conservation Area:

- a. "The Cottage" and "Tumblers Chase"
- b. "The Manor"
- c. "The Grange and Glyn Coch".

iii) Public open spaces within the village core:

These include informal open spaces within the village:

- a. the village green at the eastern end
- b. gardens to the east of Little Hall Cottage and Myrtle Cottage
- c. open land to the south of the church yard.

3.4.1 The character of the St. Hilary Conservation Area is dependent upon the informal relationship between buildings, spaces and tree groups. Buildings are often interspersed with irregular open garden and frontage areas, or enclosed by stone walls and hedging. In recent years, the character of the village has undergone a degree of inappropriate new development through the consolidation of "suburban" style housing to the north and west of the "Bush Inn" and to the south of "The Farm". If further development were to take place, particularly

within the village core, the character of the Conservation Area would be significantly harmed and it is for this reason that the appraisal identifies the areas above for protection.

3.5 ARCHITECTURE AND BUILT FORM

• Listed Buildings and Buildings of Note:

The following buildings are recognised for the historic context they provide the village.

- a) The Lodge.
- b) The Barn.
- c) The Old Farm.
- d) The Post Office.
- e) Little Hall Cottage.
- f) Kninkin Cottage.

3.5.1 The buildings identified are those whose age and character add to the quality of the village. Whilst they have not been included in the schedule of buildings of architectural or historic interest in the recent resurvey of the community area by CADW Welsh Historic Monuments, they are of value to the character of the Conservation Area. These are identified above and enable any proposals for development or alteration to be fully assessed.

3.5.2 Listed buildings continue to enjoy the protection they are afforded by the legislation within the Planning (Listed Buildings and Conservation Areas) Act 1990. These are:

- The Church of St. Hilary,
- The Basset Family Tomb enclosure and the Cross within the Churchyard,
- The Cottage,
- The Pigsty in the garden of Church Cottage,
- The Manor,
- Nos 1 and 2 Manor Cottages,
- The telephone kiosk, Llantrithyd Road.
- The Bush Inn.
- Village Farm

• Built Form:

Significant views into and out of the village Conservation Area should be protected and enhanced where opportunities arise.

Distinctive roof patterns, ridgelines, and landmark buildings or features will be protected and enhanced where opportunities arise.

Materials must be appropriate to the locality and sympathetic to the existing buildings in the Conservation Area.

The layout and design of new development should acknowledge the context provided by the village. To demonstrate how this has been achieved, developers should also provide three dimensional plans or drawings to show how new development will respect its setting.

Where a proposal for the demolition of a building within a Conservation Area is to be followed by the redevelopment of a site, Conservation Area consent will only be granted where full planning permission has been previously or concurrently given for the replacement building.

The policies set out above encourage an early appraisal of village form in any proposal for development.

3.6 DESIGN IN THE CONSERVATION AREA

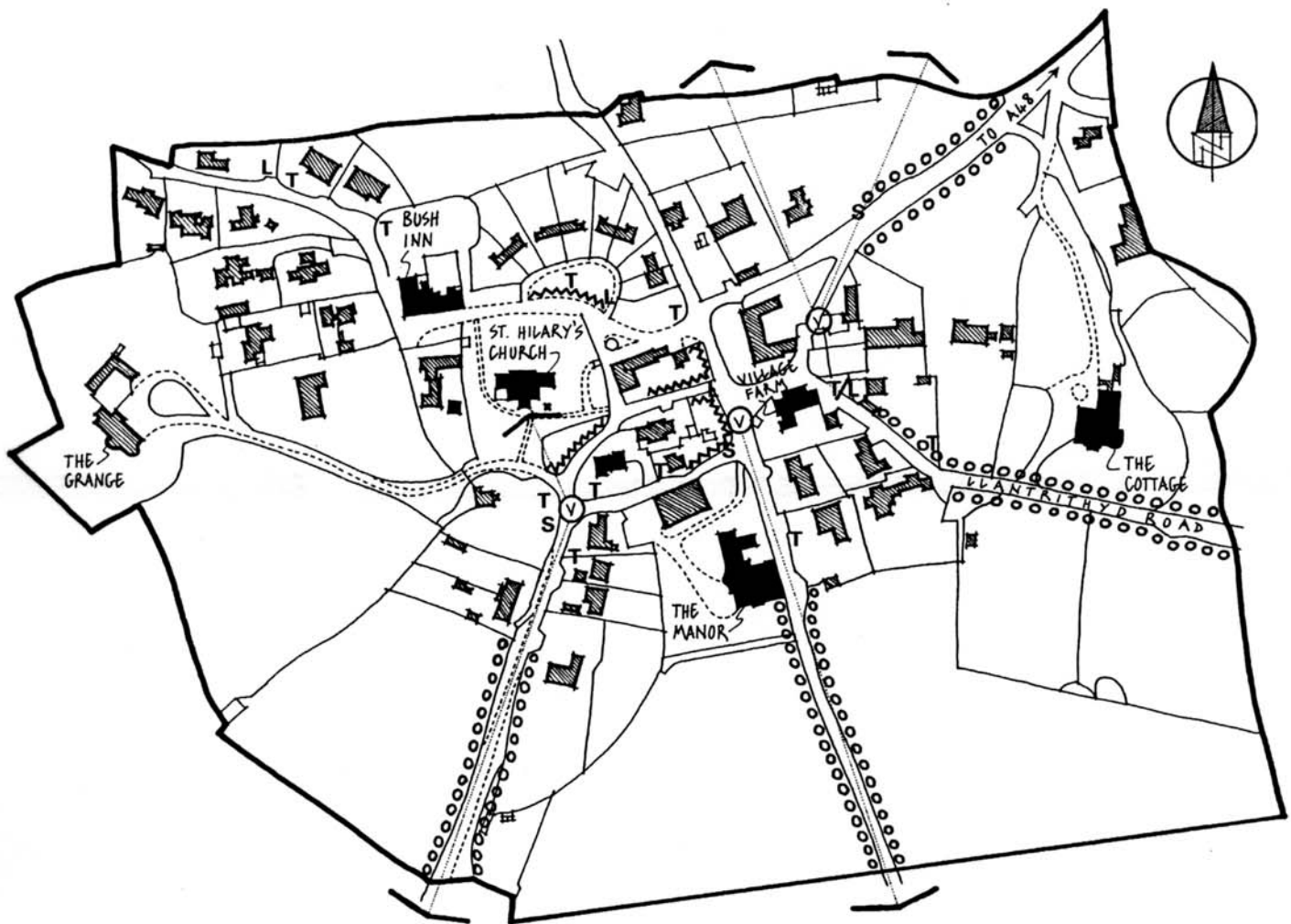
Proposals for new development in the Conservation Area should take account of the design principles set out within supplementary guidance prepared for Conservation Areas in the rural Vale:


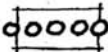

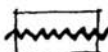


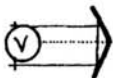
Context of the site: Take account of the wider setting of the site.

Recycle old buildings: When considering a site, the sensitive conversion of existing buildings should be a priority.

Preserve and enhance the character of the Conservation Area: Reflect the character of the

St. Hilary Conservation Area Appraisal



	<i>Telegraph pole</i>		<i>Key frontages on the approaches to the village</i>
	<i>Direction sign</i>		<i>Key internal spaces</i>
	<i>Lamp post</i>		<i>Listed buildings</i>
	<i>Key views/ vistas</i>		

Plan 3: Townscape Appraisal

(Not to scale)

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surrounding buildings and open spaces, but avoid mimicking architectural styles and creating pastiche buildings that undermine the character of the Conservation Area.

Materials and Details: Use high quality, durable materials. These should complement surrounding buildings and landscape and pay attention to detailing as an integral part of the design.

Sustainability: Create buildings and open spaces which are adaptable, minimising the need for change in the village.

Scale: Design and orientate new development so that it reflects the scale and layout of the village.

3.6.1 The sympathetic alteration and extension of traditional buildings is especially important in St. Hilary, where there is a predominance of 16th and 17th Century buildings in the centre of the village. Development proposals will be assessed against a set of design principles proposed for the assessment of development proposals within Conservation Areas in the rural Vale. These are set out as Supplementary Planning Guidance within the Deposit Draft of the Unitary Development Plan and are set out with a “Sensitive Development Test” in an Appendix to this report. The policy does not discourage contemporary design, but seeks to promote an approach to building which is sensitive to its historic context and setting.

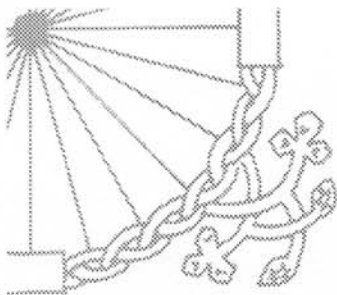
3.6.2 There are a number of buildings in the village whose position and use of the local vernacular make them important in maintaining the character of the village. The addition of inappropriate detail, or a change in form, scale and colour can have a profound effect on a building or its neighbour as well. It is for this reason that the policies set out above are proposed.

3.6.3 The careful selection of sympathetic materials for renovations and repairs is essential to the successful maintenance of buildings. Wherever feasible, a conservative repair technique is encouraged and promoted. An Appendix at the back of this report sets out advice on how the choice of materials and building technique can enhance the character

of the Conservation Area. The same advice is included within Supplementary Planning Guidance: “Conservation Areas in the Rural Vale”

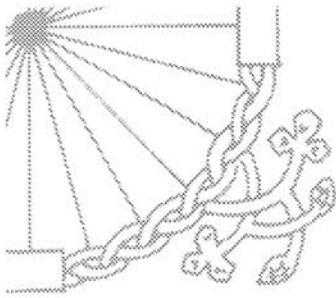
3.7 THE BOUNDARY OF THE CONSERVATION AREA

3.7.1 Although the appraisal offers scope for the review of the Conservation Area boundary, no recommendations for change are made. The inclusion of both the village and outlying fields within the boundary of the Conservation Area provides protection for the rural quality of the village.



Conclusions

4.1 The policies within this document have been adopted following public consultation on the findings of the appraisal and the inclusion of local contributions to its consent and the proposals put forward for the management of the Conservation Area.



Appendix

1.1 A SENSITIVE DEVELOPMENT TEST

1.1.1 To see whether these principles have been met, consider the following:

i) Are there original, traditional buildings that should be used or restored within the site?

To minimize disruption to the character of the Conservation Area, priority should be placed on re-using existing buildings.

ii) Does the development fit into the fabric of the locality; the plots, building groups, roads and open spaces?

These components form the basis of the Conservation Area and reveal the historical development of the site and its setting.

iii) Does the development reflect the scale of building in the Conservation Area?

The development and its various parts should sit easily within the Conservation Area.

iv) Do the materials used in the development reflect those which are prevalent in the Conservation Area?

The range of traditional or natural building materials in the Vale of Glamorgan rural Conservation Areas is diverse. New development should use natural materials, or those which can complement their simple and organic qualities. The use of foreign stone should be avoided.

The St. Hilary Conservation Area. Many buildings show materials and decorations which are typical of the local building tradition.

1.2 GUIDANCE ON REPAIR AND ALTERATION

1.2.1 This section provides advice on how to protect the Conservation Area by the repair and enhancement of some of the original and historic features which form an area's special character.

Alterations and Extensions to Buildings in a Conservation Area

1.2.2 The character which justifies the designation of a conservation area can easily be damaged by the cumulative impact of minor alterations to buildings forming the historic core of many of the Vale's village conservation areas. This can include the replacement of windows, doors and roofing materials or the addition of domestic extensions.



1.2.3 The following notes set out some simple advice on how to approach the repair of old buildings in the village. A planning officer can advise on the need for planning permission. Where consent is required, it is advisable to discuss proposals with a planning officer before the submission of an application. Work which alters a Listed Building will usually require Listed Building Consent. Again it is advisable to seek advice before preparing plans or undertaking work.

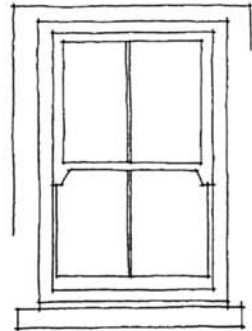
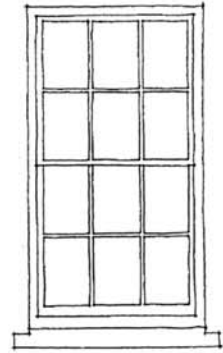
1.2.4 In all work, the key to a successful repair is to understand and respond to the local building tradition.

Windows

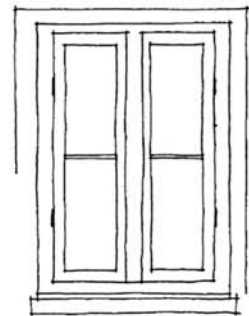
1.2.5 It is often the simple arrangement of door and window openings in the building face which account for their quality. The replacement of an original set of windows in a house or cottage can often damage the look of a house, or the overall effect of a terrace or group of houses. Where repairs are undertaken, original window patterns should be followed and modern materials avoided.

1.2.6 In replacement, multi divided and asymmetrical frames should be avoided, so should modern materials such as UPVC, or stained hardwoods, if they cannot reflect the simple qualities described above.

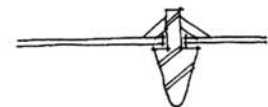
1.2.7 It is often possible to have original windows overhauled, rather than replaced. If a window does need to be replaced, there are local joiners who can make a replica. Grant aid may be available through the Vale's Historic Building Grant Programme. A planning officer can advise you on how to approach repair and the feasibility of grant aid.



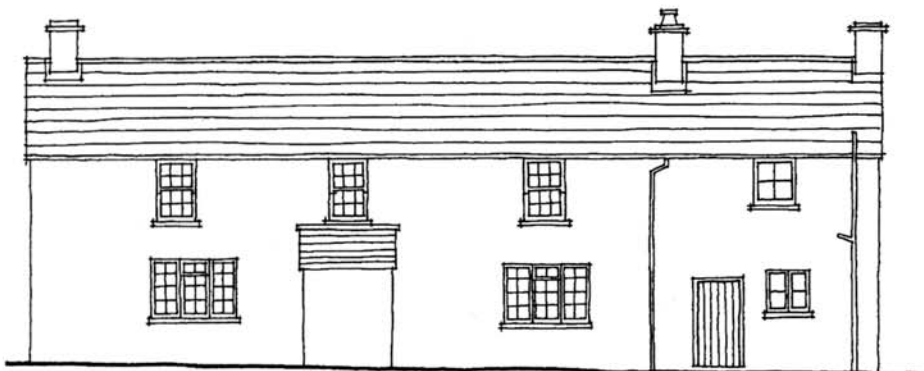
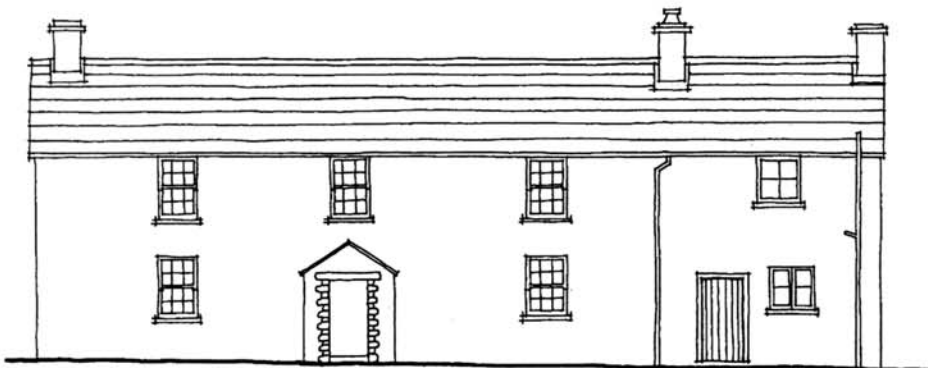
Victorian windows continue the vertical emphasis of the Georgian window openings



This is a traditional design often used in cottages



Fine glazing bars can reflect daylight

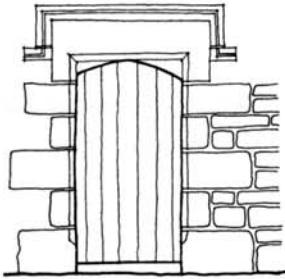


The removal and replacement of original windows can upset the balance of a house

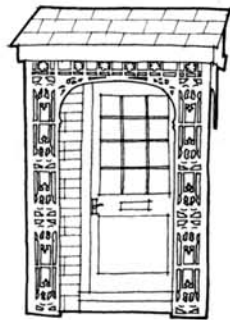
Doors

1.2.8 Simple timber panelled doors with a limited area of glazing remain appropriate for most houses in villages within the Vale of Glamorgan. Doors which mimic materials from different periods should be avoided as should modern materials such as UPVC.

1.2.9 The same principles apply to garage or garden gates or doors. Each should reflect the proportions and simple architectural details used on the main building. Horizontal boarding and panelling should be avoided.



An early door surround with stone drip mould



Decorative porches are a common feature of 19th century village houses

Roofs

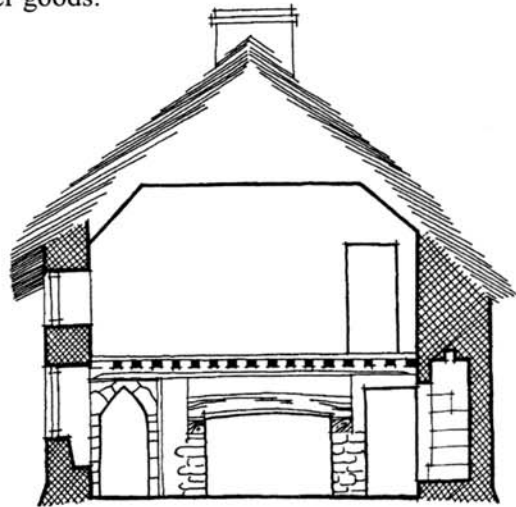
1.2.10 Thatch was once a common roof covering in the Vale, but is now largely replaced with slate. Where thatch does remain, it should be protected and maintained by craftsmen with skills in handling the appropriate material. Within the Vale this could be either reed or long wheat straw. It is important that historic thatching, original details and supporting roof structure are retained in the repair and renewal of roofs.

1.2.11 Natural Welsh slate is now the most common roofing finish and in many cases was used to replace thatching to older buildings in the late 19th century. On listed buildings, it is required that natural slate laid to the same detail is used as a replacement finish in any repair. It is recommended that contractors with experience in laying natural slate are employed.

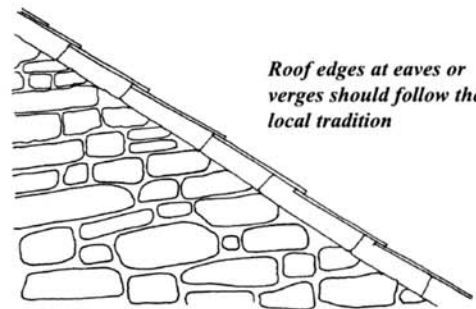
1.2.12 On unlisted buildings in conservation areas, natural slate can often be a viable alternative to imitation slate. The latter can alter the appearance of an historic building in subtle but damaging ways. However, some artificial slates are manufactured with rougher edges and minor surface texturing. These may act as an acceptable visual alternative.

1.2.13 Pennant stone slates are exhibited on the more important larger domestic buildings as well as on farm buildings. It is an increasingly rare local detail which should be retained and repaired whenever possible. Stone slate is always laid in diminishing courses from eaves to ridge.

1.2.14 When roofs are replaced, traditional details should be recorded and replaced in the same way. Roof edges (at eaves or verges) should follow the local tradition. Often roof slates will overhang the gable end of the wall, with vertical slates set under to protect the end rafter. Timber bargeboards and fascias should follow the original size and profile as should the materials and design of replacement rain water goods.



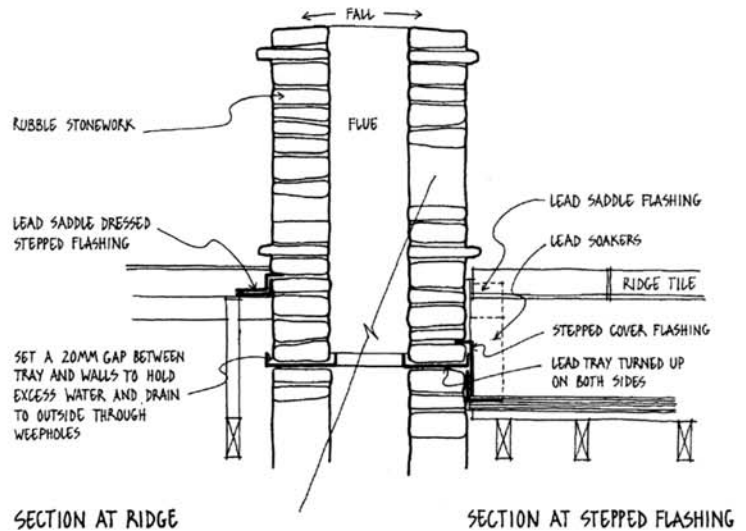
The Bush Inn, St. Hilary. This section shows a thatch roof together with important internal features



Roof edges at eaves or verges should follow the local tradition

Chimneys

1.2.15 Stone chimneys in old houses are an important part of the architecture and often provide clues to the age of a house. In the Vale of Glamorgan, there are many open hearths in houses constructed from the 16th Century onwards, whose large chimneys are often fine examples of local stonework. In repair, such stonework often simply requires repointing. The method and mortar mix should always match the original finish. When a chimney does need to be rebuilt, it should be recorded by drawings and photographs and rebuilt in replica, reusing any sound old materials for the external face. Even when a flue is redundant, clay pots should be retained.



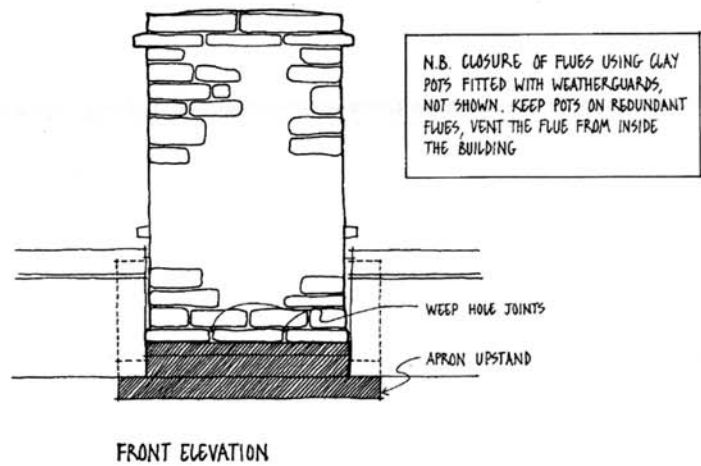
Stonework/ Wall Finishes

1.2.16 Local limestone is the traditional building material in the rural Vale. Its mellow cream and grey tones are found on boundary walls, farms and domestic buildings in most villages and give each a close affinity with their landscaped setting.

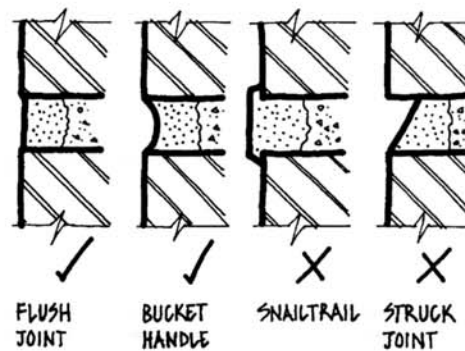
1.2.17 The stone is often roughly squared, laid in random rubble courses and was normally finished with a protective limewash. The size, colour and shape of stone varies according to local source, and the age and importance of the building it forms.

1.2.18 The local stone is rarely used for dressings in and around windows/doors. In the best architecture of the 16th and 17th century, local Sutton and Quarella sandstones are used in dressings. From the 19th century, bathstone and local brickwork was used for this purpose. It is important that historic stonework is correctly repaired and replaced. It is essential that existing stone is repointed in a manner which is appropriate to the original building method. The use of lime putty based mortars is recommended, as the introduction of dense, cement based mixes will cause problems of moisture retention in traditional stone walling.

1.2.19 The actual repointing technique is also important. On original stone work, repointing



may be recessed, or lie flush with the stone, and this pattern should be followed for new work. "Snailtrail" repointing, or repointing that stands proud of the stone should be avoided.



Repointing on old buildings

1.2.20 A white limewash applied regularly to stone walling is a traditional method of maintaining and protecting local stone.

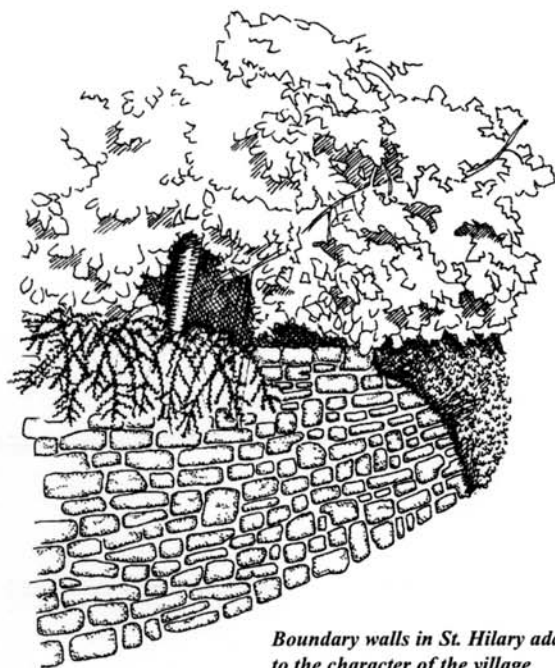
1.2.21 Attention should be paid to stone work patterns used on extensions. Random rubble limestone walling is frequently used on original buildings in the village. New stone work should be laid in similar patterns, with free stone or brick dressings set around doors and windows where appropriate. A painted smooth lime based render is an alternative.

Walls and Enclosures

1.2.22 Boundary walls should be regarded as an extension of the building they protect. They define ownership, provide privacy and protection from wind and rain. Most importantly, walls define space. New walls should seek to fulfil the same objectives. Natural stone walls define the character of each village and should be repaired and retained where possible. Grant aid may be



Gate and pillar, Great House, Llanmaes



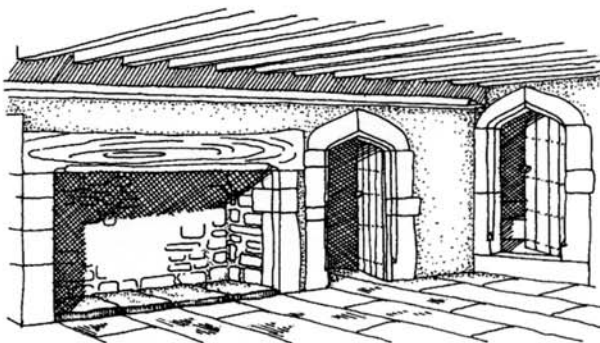
Boundary walls in St. Hilary add to the character of the village

available for repair which can show traditional repair techniques following the local vernacular. Black painted iron railings on a stone base are common in the Vale and can be replaced using profiles and designs easily manufactured by local smithies.

1.2.23 Artificial stone or concrete screen walling is alien to the area and should be avoided, as should chain link, timber or brick panelled fencing sections.

Internal Details

1.2.24 Older buildings often possess interesting details within. These should be left in place wherever possible. An original fireplace, a panelled door, an attractive ceiling or stair can all add to the character of a building. In the case of listed buildings, internal features (e.g. timberwork, historic plasterwork, doors, fireplaces etc.) are protected by law and consent is necessary for their alteration or removal.



Original internal features of listed buildings are protected

Extensions To Existing Buildings

1.2.25 The key to good design is to understand and respond to the characteristics of the local building tradition. The older the house, the more important it is to retain its character and long standing relationship with adjoining buildings.

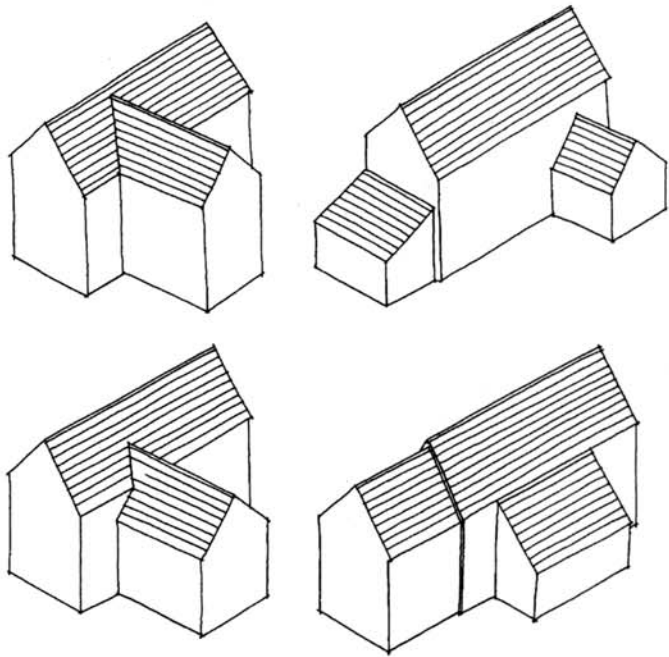
1.2.26 The main elements of roof, wall and windows should combine in such a way that the architectural balance of the original building is protected. In the rural Vale, many farm houses and village groups use a simple composition where doors and window openings are closely related. This should be protected by acknowledging the symmetry

already in place, for example by setting back the building line of an extension, or by dropping its ridge line to below that of the original house. The height and shape of this roof line is important and is often determined by the original roof characteristics.

1.2.27 In acknowledging this simple building hierarchy, new development can add to and enhance the complex building form and skylines created by traditional village groupings.

1.3 WHERE TO GET MORE ADVICE OR INFORMATION

1.3.1 If you are considering extending or altering your building it is advisable to contact the planning department at an early stage. A Development Control Officer will be available to give advice and information on the need for planning permission. More detailed advice is also available on the repair of buildings.



The scale and design of an extension should always be subordinate in scale to the main house, as these examples show