Vale of Glamorgan

Local Development Plan Sustainability Appraisal

Options Appraisal Report

November 2007 Report no: D004 - NE02716-NE-R07



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1 Introduction

The Vale of Glamorgan Council is currently considering the strategy options for its Local Development Plan (LDP), which will govern how land within the Vale of Glamorgan is used between 2011 and 2026.

The Council are currently undertaking the third stage of the LDP process, in which they are determining the preferred strategy option. The options currently under consideration are as follows:

- Option1: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy).
- Option 2a: Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).
- Option 2b: Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test).
- Option 3: Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified).
- Option 4: A rural new settlement able to promote sustainable self containment.
- Option 5: Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.

A stakeholder workshop was held in May 2007 as part of the LDP consultation process. Additional options were suggested at this workshop as follows.

- Option 6 (Combination of Options 1 and 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment
- Option 7 (Combination of Options 2b and 5): Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.
- Option 8 (Combination of Options 5 and 4): Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.

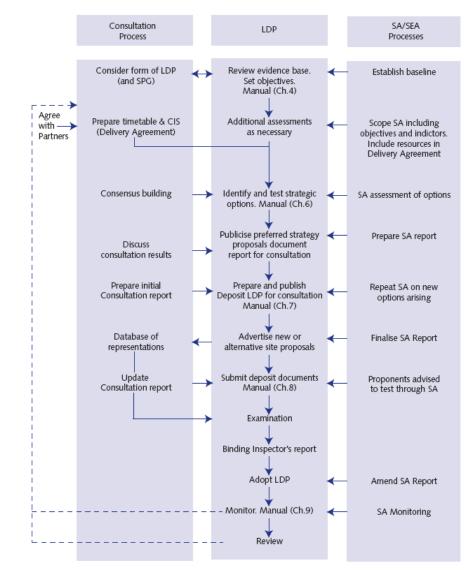
Details of this workshop are provided in *Strategic Options Stakeholder Workshop: Report of Consultation* (June 2007)¹.

¹ Available from the Council's website

http://www.valeofglamorgan.gov.uk/living_menu/planning_policy/development_plan.aspx



To ensure that the policies in the LDP promote the principles of sustainable development, a Sustainability Appraisal (SA) of the LDP, incorporating the requirements of the Strategic Environmental Assessment (SEA) Directive, is being undertaken. The LDP and the SA processes are being carried out in an iterative and integrated manner. Figure 1.1 below outlines these two processes.





The SA of the LDP is being carried out based on current guidance and best practice including:

- Local Development Plan Manual, Welsh Assembly Government, June 2006
- A practical Guide to the SEA Directive, ODPM, the Scottish Executive, the Welsh Assembly Government and the Northern Ireland Department of the Environment, September 2005
- Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks, ODPM, November 2005

The ODPM SA guidance sets out the SA stages as follows:



- Stage A: Setting the context and objectives, establishing the baseline and deciding on the scope
- Stage B: Developing and refining options and assessing effects
- Stage C: Preparing the Sustainability Appraisal Report
- Stage D: Consulting on the draft RSS revision and the SA Report
- Stage E: Monitoring the significant effects of implementing the RSS revision

To assist the Council in determining the LDP strategy, an appraisal of the options has been carried out as part of the SA process (Task B3 of Stage B). This appraisal has been based on the SA objectives developed at the scoping stage². The SA objectives were developed using baseline information and feedback from the SA stakeholder workshop held in October 2006.

This workshop highlighted that the key issues for the stakeholders in the Vale of Glamorgan include (but are not limited to):

- Transport and accessibility;
- Employment related issues;
- Housing provision, especially affordable housing;
- Increasing development pressures;
- Community cohesion;
- Waste disposal and pollution; and
- Threats to cultural and natural heritage.

Details of the findings from this workshop are provided in the *Sustainability Appraisal Stakeholder Workshop - Report of Consultation* (October 2006)³.

In carrying out the appraisal, consideration was given to comments made by consultees at the workshop held in May 2007 and baseline information collected at the scoping stage.

This report outlines the findings of the appraisal of the 9 options set out above and provides recommendations for the LDP strategy.

² Local Development Plan Sustainability Appraisal Approved Scoping Report, Vale of Glamorgan Council, July 2007 (<u>http://www.valeofglamorgan.gov.uk/living/planning</u>

³ Available from the Council's website <u>http://www.valeofglamorgan.gov.uk/living/planning</u>



2 Appraisal Methodology

This section outlines how the SA Framework was used to appraise the options, the assumptions made in carrying out the appraisal as well as the limitations identified in the process.

2.1 Sustainability Appraisal Framework

The SA Framework is the fundamental component of the appraisal methodology. The SA objectives form the basis of this methodology and have been used as methodological yardsticks against which the strategy options have been appraised. The SA objectives are supported by aims which guide the appraisal of the options against the SA objectives.

The methodology used in the derivation of the SA objectives and development of the aims was developed from that outlined in the ODPM's SEA guidance. The SA objectives and aims, detailed in the *LDP SA Scoping Report* were informed by the sustainability objectives of other relevant plans and programmes that may influence, or be influenced by, the plan; as well as the key issues identified through baseline data collection and consultation. The SA objectives (in bold font) and aims used in this appraisal are as follows (these have been numbered for ease of reference and are not in any order of priority):

1. To provide the opportunity for people to meet their housing needs.

- Provide a mix of dwelling types and tenure
- Build in sustainable locations, with good access to local facilities
- Provide affordable housing
- Preference for previously developed land in sustainable locations
- 2. To maintain, promote and enhance the range of local facilities.
- Meet the needs of existing communities throughout the Vale of Glamorgan
- Provide appropriate facilities within new developments to meet the needs of future users
- Ensure local facilities are suitable for purpose and easily accessible
- Prevent the loss of existing well-used and valued local facilities
- 3. To maintain and improve access for all.
- Ensure the built and natural environment is easily accessible to all the Vale of Glamorgan's community
- Improve public perception of access
- Benefit health and well being through social inclusion within the physical environment
- Promote 'life-time' homes



4. Reduce the causes of deprivation.

- Promote improvements to: employment, income, health and well being, education, housing, environment and access, for all.
- Prevent the isolation of deprived communities.

5. To maintain, protect and enhance community spirit.

- Reduce the fear of crime
- Provide community facilities
- Encourage local distinctiveness (e.g. promote public art)
- Encourage community ownership of the environment (e.g. promote shared spaces)

6. To minimise the causes and manage the effects of climate change.

- Reduce air pollution (e.g. transport / industry emissions)
- Reduce energy consumption (e.g. promote energy efficient building)
- Promote renewable energy generation
- Promote green sinks to absorb carbon emissions (e.g. plant trees)
- Avoid development within flood plains unless mitigation can prevent harm
- Protect biodiversity, flora and fauna from the effects of climate change

7. To minimise waste.

- Promote the use of secondary resources (e.g. convert existing buildings)
- Provide and promote recycling facilities.
- Avoid landfill of waste

8. To use land effectively and efficiently.

- Retain undeveloped land
- Bring previously developed land in sustainable locations back into use
- Promote good quality high density developments where appropriate
- Protect the countryside from inappropriate development, especially good quality agricultural land and areas of high landscape value

9. To protect and enhance the built and natural environment.

- Protect or enhance natural assets such as biodiversity, flora and fauna, wildlife habitats, landscape, soil, water resources.
- Protect or enhance the built environment including historic buildings and conservation areas.
- Protect cultural heritage and archaeology.
- Enhance public access to and appreciation of the Vale of Glamorgan's environmental assets.



10. To provide a high quality environment within all new developments.

- Ensure development meets the needs of current and future users.
- Promote a sense of community pride (e.g. shared spaces, public art, local materials)
- Promote sustainable design and construction solutions.
- Enhance access for cyclists and pedestrians.
- Provide adequate green spaces.
- Provide adequate vehicular parking and manoeuvring space.

11. To protect, enhance and promote the quality and character of the Vale of Glamorgan's culture and heritage.

- Protect and enhance existing cultural heritage and historic environments
- Promote new opportunities for culture in the Vale of Glamorgan

12. To reduce the need to travel and enable the use of more sustainable modes of transport.

- Ensure new development is located in accessible locations from a range of travel modes
- Promote technologies to reduce need to travel (e.g. homeworking)
- Enable the movement of people and freight by sustainable means
- Provide effective transport infrastructure to meet the needs of the community (e.g. highways, cycleways)

13. To provide for a diverse range of local job opportunities.

- Protect existing and potential employment sites for employment uses
- Support a culture of entrepreneurship
- Ensure employment sites are promoted in accessible locations
- Support the enhancement of skills to meet employment needs
- Promote and enable sustainable rural diversification

14. To maintain and enhance the vitality and viability of the Vale of Glamorgan's town, district and local centres.

- Ensure retail centres are accessible by a range of modes of transport
- Ensure a range of uses within retail centres
- Avoid out-of-town retail development
- Enhance the public realm within existing centres and facilitate regeneration programmes
- Promote the evening economy in the Vale of Glamorgan's town centres



15. To promote appropriate tourism.

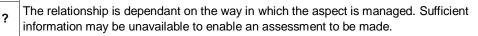
- Promote local economic growth through tourism
- Enable tourism uses to be accessed by sustainable travel modes
- Manage tourism to protect the Vale of Glamorgan's natural and built assets
- Protect potential tourism destinations against inappropriate non-tourism development (e.g. proliferation of residential)
- Enable specialist tourism (e.g. sustainable, sports, cultural etc).

The appraisal of the options against the SA objectives was carried out using a matrix-based approach as shown in Appendix A. The matrix was developed based on ODPM guidance⁴ and has been set out to enable the comparison of the options. The matrix also ensures that spatial nature of effects is taken into consideration together with the significance of the identified effects.

The performance (direction and severity) of the options against the SA objectives is recorded in the matrix using the symbols shown below:

- ++ The proposed option strongly contributes to the achievement of the SA objective
- + The proposed option contributes to the achievement of the SA objective
- **0** There is no clear relationship between the achievement of the option and the SA objective or the relationship is negligible
- The proposed option detracts from the achievement of the SA objective
 - The proposed option strongly detracts from the achievement of the SA objective

He proposed option both contributes and detracts from the achievement of the SA objective



The commentary provided under each SA objective in the matrix sets out the reasoning behind the determined performance of the options and highlights any key issues associated with the option. Also provided in the matrix, is an indication of the levels of certainty with which the likely effects of the options have been determined. Below are the symbols used in describing certainty:



Certainty regarding the indicated performance of the option against the SA objective is low and further information may be needed to increase certainty.



Performance of the option against the SA objective has been determined with some

certainty although further information would assist the appraisal.

The performance of the option against the SA objective has been determined with high certainty as sufficient information is available to assist the appraisal.

A description is provided below of the approach to this appraisal using the matrix.

⁴ Annex 10 of the Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks, ODPM, November 2005



2.2 Approach to Appraisal

Although the options have not been appraised against each individual aim, the aims have been taken into consideration in determining the performance of the options against the overall objectives and have been used to guide the appraisal. The various aspects considered while carrying out the appraisal are as follows:

- Direction of impact: Whether the effects are positive, negative or neutral
- **Significance:** Whether the effects would be slightly or greatly significant
- **Spatial Scale:** The locality of the effects in the Vale of Glamorgan i.e. whether they would affect the rural and/or urban areas. Any transboundary effects outside the study area were also considered.
- Level of certainty: The level of certainty in predicting the effects based on the information available to carry out the appraisal.

The temporal and cumulative nature of the predicted effects was explored where possible and details provided in the commentary. More detailed determination of the temporal and cumulative aspects as well as consideration of mitigation measures will be undertaken at the next stage of the SA/SEA in which more specific policies would be appraised.

This approach should therefore allow the impact to relate to the value of sustainability baseline in a particular area through assessing every option on its own merit and relating it to the baseline and issues/opportunities.

2.3 Assumptions and Limitations

In carrying out the assessment, a number of assumptions were made in relation to the strategy options. Furthermore, in some cases, there were limitations to the level of certainty with which the appraisal could be completed.

2.3.1 Assumptions

The following are the assumptions made in this assessment:

- Growth will mainly include the development of housing while local facilities will be provided through planning conditions and S106 agreements.
- Housing will meet all needs in terms of tenure, type and affordability.
- Growth can help tackle causes of deprivation (as seen in housing lead growth successes through pathfinder/housing market renewal schemes) through the provision of new decent homes and other benefits through planning gains.
- Planning policy would set minimum design standards to ensure that buildings are designed to be accessible to all.
- Planning policy would provide siting guidance to minimise effects of development on natural and historic environments.
- New developments would be designed to enhance community spirit through local distinctiveness and a reduction in the fear of crime.



• Local community and leisure facilities will be provided together with new housing and employment.

The rationale behind the determination of the performance of the options against the SA objectives, sought to relate direction of impact to the value of baseline in the Vale of Glamorgan. In adopting this approach, every option is considered on its own merit against the SA objectives and is related to the sustainability baseline as well as the key issues and opportunities.

2.3.2 Limitations

At this stage, the appraisal provides an overall indication of the potential effects of the options against the SA objectives. The level of detail that could be provided in the appraisal is limited due to the strategic nature of the options, which does not allow for assessment at a settlement level. However, the level of detail is considered sufficient for the purposes of developing the Preferred Strategy which will be appraised in greater depth and detail.

It should be noted that the appraisal of the strategy options is based on expert judgement and therefore has an element of subjectivity. However, the limitations of expert judgement have been reduced through the use of quantitative thresholds and legislative targets where possible within the assessment process.



3 SA Findings

This section summarises the findings of the appraisal of each option taking into consideration the key issues identified at the scoping stage. The key strengths and weaknesses of each option are highlighted below under the relevant headings. As Options 6 to 8 are combinations of other options, their predicted effects relate closely to their component options and therefore reference needs to be made to related options for details.

3.1 Option 1

Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy).

This option maintains the current strategy contained within the Vale of Glamorgan Adopted Unitary Development Plan (1996-2011), which focuses development within 'the Waterfront Strip'. This encompasses the larger coastal towns and villages of Barry, Penarth, Dinas Powys, Sully and Rhoose, capitalising on their good transport links, availability of services and facilities as well as regeneration opportunities within Barry Waterfront (see Figure 3.1). This option represents the 'business as usual' scenario.

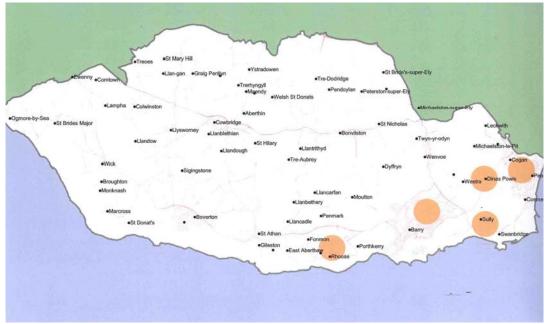


Figure 3.1: Indicative Illustration of Option 1



Key Strengths

The key strengths of this option lie in that it would assist in the achievement of the majority of the SA objectives in the urban south east of the Vale of Glamorgan. Specifically, it would be expected that this option will deliver an appropriate mix of housing in urban areas of the south east. This would assist the Vale of Glamorgan population in meeting their housing needs.

With the concentration of growth in existing urban centres, existing local facilities and the vitality and viability of these centres would be maintained and enhanced, while the causes of deprivation are reduced. Multiple deprivation is a key issue in part of the urban south east, particularly in Barry, whereas rural parts of the Vale of Glamorgan are ranked as having low levels of multiple deprivation.

A further advantage of this option would be that most development is located in areas easily accessible by existing national public transport links, particularly via the Vale of Glamorgan Railway Line. The urban south east is also well served by bus services.

Maximising potential for growth in urban centres would make use of previously developed land and vacant buildings although the availability of such land may be limited outside Barry. There are opportunities to deliver regeneration while using land effectively and efficiently.

There are increased opportunities to provide a diverse range of employment opportunities in urban areas, where there are pockets of economic inactivity. Furthermore, there is a decline in employment opportunities in some industries (e.g. construction, manufacturing and public administration) and this option presents the opportunity to address this trend in urban areas.

Key Weaknesses

It is envisaged that through this strategy, issues faced by residents in the rural parts of the Vale of Glamorgan (e.g. lack of appropriate housing, employment and local facilities, as well as issues relating to transport and accessibility) would not be sufficiently addressed. In most cases the option does not have a bearing on the delivery of SA objectives in rural parts of the Vale of Glamorgan.



3.2 Option 2a:

Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).

This option would see the distribution of housing and employment to all settlements within the Vale of Glamorgan, proportionate to the existing population of each settlement. In this scenario the level of existing services and facilities would not be considered as part of the allocation of sites, however unlike Option 1 this option would increase development opportunities for rural areas (see Figure 3.2).

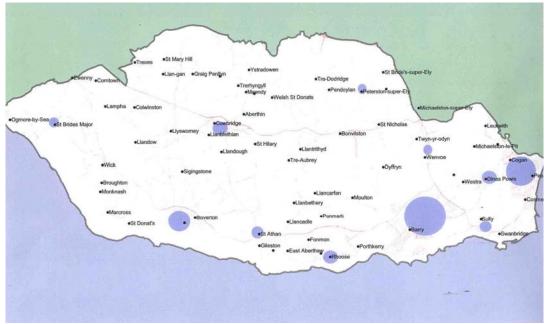


Figure 3.2: Indicative Illustration of Option 2a

Key Strengths

This option offers the opportunity to deliver benefits to both urban and rural areas. This is particularly in relation to the provision of housing and employment opportunities. It is anticipated that multiple deprivation issues, particularly in urban areas, would be addressed through this strategy.

There are opportunities to make town centres attractive to local residents that currently use out-of-town retail developments. Centres can also be made attractive to businesses therefore reducing the number of vacant units (e.g. Barry). Both these factors would assist in maintaining and enhancing the vitality and viability.

Key Weaknesses

The key issue identified with this option relates to its dependence on current population of each settlement. It should be noted that current population may not



be an appropriate indicator of the future needs of communities in these settlements. Through this approach, development may be provided where it is not necessary, cannot be sustained or supported. As a result, the specific needs of some communities may not be addressed.

It is not proposed that a sustainability test will be carried out in adopting this option. Consequently, it is likely that development would be placed in settlements that do not have sufficient facilities and services to support the new development. Furthermore, due to the dispersed nature of proposed growth, resources to ensure benefits are sufficiently delivered may be stretched, while negative effects may be spread out across the Vale of Glamorgan.

In rural areas, where brownfield land is not as readily available, there may be some loss of greenfield land and effects on the local landscape, biodiversity, soil function, water resource use and cultural heritage. It would be necessary to limit growth to within settlement boundaries to ensure protection of the surrounding countryside.



3.3 Option 2b

Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test)

As with option 2a the distribution of development would be relative to the existing population of each settlement. However an assessment of existing services and facilities as well as accessibility to nearby facilities would be undertaken (the sustainability test). In this scenario land allocated for development opportunities would only be within those settlements, which would have good levels of services, facilities and infrastructure (see Figure 3.3).

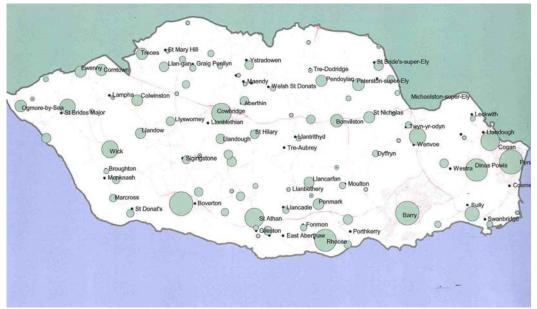


Figure 3.3: Indicative Illustration of Option 2b

Key Strengths

As with Option 2a, this strategy would spread development throughout the Vale of Glamorgan, although growth would be focused in those settlements that have sufficient provision of facilities to support development. This would be ensured through the undertaking of a sustainability test.

The approach proposed in this option is likely to ensure that facilities and services are not under-utilised where they are provided.

Key Weaknesses

It is unlikely that this option will deliver significant benefits in any of the settlements in the Vale of Glamorgan, as it is unlikely that development in any one location will be of a large enough scale to enable planning gain. The key concern with this option is that those rural centres which do not have appropriate facilities would not benefit from growth and are likely to continue to experience a lack of appropriate facilities.



3.4 Option 3

Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified)

Unlike Option 1, this option would concentrate future development within the larger rural settlements that have good levels of services, facilities and infrastructure relative to other settlements within the rural Vale (see Figure 3.4).

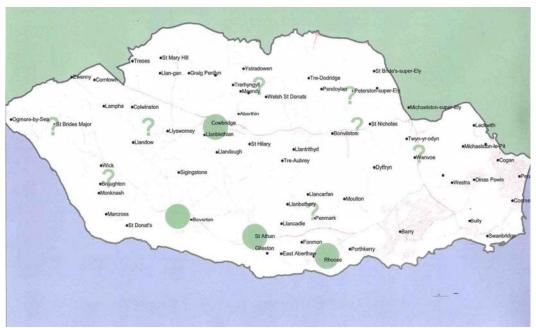


Figure 3.4: Indicative Illustration of Option 3

Key Strengths

Delivery of housing in the identified rural settlements will present an opportunity to increase provision of affordable housing in the rural part of the Vale of Glamorgan. Furthermore, the option would ensure that facilities such as schools, doctors' surgeries and retailing in these settlements remain viable and are maintained and enhanced.

The option presents an opportunity to make these town centres attractive to local residents that currently use retail facilities in larger settlements. It is assumed that local community and leisure facilities will be provided together with new housing through planning conditions.

An increase in population and jobs and overall investment in these four settlements, and potentially others, should contribute positively to their vitality and viability. Additionally, there may be an opportunity to improve bus services in these, and other rural settlements, in which bus service provision is considered to be poor (e.g. Aberthaw (West), Cog, Penmark, Colwinston and Penllyn amongst others).



Key Weaknesses

High levels of multiple deprivation are observed mainly in settlements in the urban south east (e.g. Barry). Therefore, focusing growth in these rural centres is unlikely to address deprivation issues in urban centres. In rural parts of the Vale of Glamorgan, isolation and inaccessibility are key issues and it is unlikely that this strategy would address these problems. Additionally, this strategy will focus development in those settlements that are not well served by public transport and where there is limited opportunity to improve public transport provision. Rhoose and Llantwit Major are the only settlements with rail services on the Vale of Glamorgan Railway Line.

A key sustainability objective is to ensure that land is used effectively and efficiently, particularly in relation to the use of previously developed land. The availability of previously developed land is low in the identified centres and therefore, it is likely that most of the new development will be located on greenfield land outside settlement boundaries.

The environment surrounding these rural settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage outside of settlement boundaries. Furthermore, a number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development.

As well as affecting the natural environment, it is likely that there will be implications on the cultural heritage environment. There are a large number of historic buildings, designations and protected monuments in the rural Vale that may be affected by development in these settlements. In particular there are significant numbers of listed buildings in Llantwit Major and Cowbridge. However, planning policy can ensure that new development enhances and promotes the quality of the cultural/historic environment.



3.5 Option 4

A rural new settlement able to promote sustainable self containment

This option would propose that the majority of new development would be concentrated in one area to create a new settlement. In order to ensure that the settlement would support a sustainable population, a range of services and facilities, as well as good infrastructure would form part of the new settlement (see Figure 3.5).



Figure 3.5: Indicative Illustration of Option 4

Key Strengths

The development of a new rural settlement, is likely to deliver overall benefit (e.g. in the provision of housing, local facilities and services) to part of the rural areas of the Vale of Glamorgan. This will depend on its location and any benefit will be realised by those settlements located nearby.

Key Weaknesses

Overall, if the development of a new rural settlement is the focus of the LDP strategy, it is unlikely that other issues that need to be addressed throughout the Vale of Glamorgan would be sufficiently addressed.

The option would be expected to have significant negative environmental effects, although the extent of these would be dependent upon the location of the new settlement. Development is likely to adversely affect biodiversity, landscape, soil function, water resource use and heritage in the location of the new settlement,



although the extent of these effects can be determined and mitigated through an environmental assessment.

3.6 Option 5

Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.

This option draws upon elements of Options 1 and 2b, which seek to locate future development within those settlements that have good levels of services and facilities, and transport links. However, this option also recognises the need to consider the potential development opportunities arising from the proposed Defence Training Academy at St. Athan (see Figure 3.6).

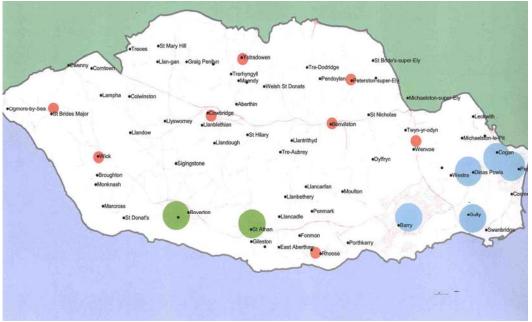


Figure 3.6: Indicative Illustration of Option 5

Key Strengths

The key advantage of this strategy would be in its delivery of benefits to both urban and rural parts of the Vale of Glamorgan.

With this approach, housing allocation would not be spread too thinly across the Vale of Glamorgan. Delivery of 5000 housing units (excluding units to be delivered through windfall applications) would be focused on the identified settlements. Furthermore, local community facilities would be maintained and enhanced. New facilities may also be provided through planning conditions.

As development would be mainly focused in existing urban areas, there is high potential for previously developed land to be utilised, where it is available. It



should be noted that in the rural settlements development in greenfield land may occur depending upon the availability of land for development within settlement boundaries. It is expected that major development (both housing and employment) at St Athan would use largely previously developed land.

The option presents the opportunity to encourage good quality high-density developments in both urban and rural areas. There is also an opportunity to bring about regeneration particularly in the urban centres, including the enhancement and protection of historic buildings..

Key Weaknesses

The natural environment in and around the settlements identified in this option is likely to be adversely affected, as development may affect biodiversity, landscape, soil function, water resource use and heritage. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development.

Furthermore, Rhoose, Barry and Sully are located in proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline as well as the candidate Severn Estuary SAC. Dinas Powys and Rhoose are surrounded by green wedge. Development may need to occur in this area of greenfield land as there is no significant availability of brownfield land in Dinas Powys. Potential effects on these environmental designations can be mitigated through policy that protects these areas.

3.7 Option 6

Combination of Option 1 and Option 4: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.

Key Strengths

The delivery of housing in urban centres will ensure that development occurs where appropriate facilities are available. Barry and Penarth already have well established local facilities, with additional services being developed as part of the regeneration effort. However, mixed effects would be realised in rural areas, with benefits for the new settlement and the surrounding area, although existing rural access to facilities issues would not be addressed elsewhere.

Positive effects on tackling the causes of deprivation are expected to be realised in the urban centres to the south east and Rhoose in which multiple deprivation is a key issue. Multiple deprivation is not a key issue for the rural parts of the Vale of Glamorgan, although isolation and access to services are areas of concern.



Key Weaknesses

The key weakness in this option relates to its limited delivery of benefits to urban parts of the Vale of Glamorgan. Although it would be expected that the new settlement would assist the achievement of some of the sustainability objectives in rural parts of the Vale of Glamorgan, this would be limited to those settlements in proximity to the location of the new settlement.

3.8 Option 7

Combination of Option 2b and Option 5: Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.

Key Strengths

This option has the potential to deliver benefits to both rural and urban parts of the Vale of Glamorgan, in settlements with the capacity to accommodate new development. The use of a sustainability test in identifying smaller settlements in which to focus development will ensure that the community facilities (e.g. health care, retail and leisure facilities) remain viable and are not under-utilised.

Key Weaknesses

Potential adverse effects identified relate particularly to impacts of development on nature conservation and landscape designations. However these designations can be protected by policies developed under this option.

3.9 Option 8

Combination of Option 5 and Option 4: Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.

Key Strengths

This option identifies both rural and urban settlements in which development opportunities would be concentrated. With this approach, issues facing both rural settlements (e.g. lack of local facilities) and urban areas (e.g. elevated levels of multiple deprivation) are likely to be addressed.



Key Weaknesses

A key concern with this option is that the number of housing units delivered outside Barry would be reduced, as a significant proportion would be developed in the new settlement. As a result the overall benefits that may be delivered in the identified settlements would be limited.

3.10 Issues relating to all options

In carrying out the appraisal of the nine options, issues were identified that apply to all proposed strategies as highlighted below. It will be essential that the Preferred Strategy takes these matters into account.

- Considering the scale of proposed development, it is unlikely that any of the options would significantly affect community spirit in existing communities.
- Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings.
- Parts of Sully, Dinas Powys, Barry, Llandow and Pendoylan, amongst others, are at risk of fluvial flooding. Additionally development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmore-by-Sea, Aberthaw and Barry. It would be necessary to develop policy that ensures that development is located in areas that are not at risk of flooding.
- The amount of proposed development is the same for all options and therefore the increase in the levels of waste generated will be the same. The levels of waste going to landfill are governed by the South East Wales Regional Waste Plan and the Landfill Directive limits. New development would need to have consideration of location of waste facilities.
- Delivery of employment opportunities is likely to be limited by the availability of employment land, based on the *Employment Land and Premises Study*.



4 Summary and Recommendations

It is essential that the option decided upon is one that addresses the key issues identified at the scoping stage. This section summarises the findings of the appraisal and provides and indication of the option/s that best address the key issues.

Overall, the appraisal highlighted that the options would have similar effects in terms of the environmental impacts as demonstrated by the matrix. The main differences relate to the delivery of socio-economic benefits throughout the Vale of Glamorgan and the areas in which effects will occur.

Option 1 would deliver benefits (including housing, local facilities and job opportunities) in urban areas alone, while Options 3 and 4 would deliver similar benefits only to rural settlements. All the other options would deliver some benefit throughout the Vale of Glamorgan. However, Options 2a and 2b would lead to growth that is highly dispersed and not focused, therefore putting a strain on resources. Furthermore, although Option 6 would deliver benefits to both rural and urban parts of the Vale of Glamorgan, benefits in the rural parts would be limited to the new rural settlement.

It is essential that the Preferred Strategy delivers benefits where they are most needed in both urban and rural settlements. The options that are likely to do so are Options 5, 7 and 8. It should be noted, however, that the benefits of Option 8 would be limited, as the majority of development may be focused on the new settlement.

The key strengths of Options 5, 7 and 8 include the following:

- delivery of benefits in both urban and rural areas;
- potential for use of previously developed land, where it is available, in urban areas;
- a balanced spread of growth contributing to tackling the causes of deprivation proportionally to settlement size;
- provision of development in key settlements thereby reducing the need to travel for local services; and
- maintaining and enhancing vitality and viability of key urban and rural settlements

It will be essential, however, that the following are taken into consideration in developing any of the three options to ensure that any potential negative effects are mitigated:

- new development would need to be limited to within settlement boundaries wherever possible (with the exception of the new rural settlement);
- there is a potential that new land uses may conflict with agricultural uses in rural areas;



- design guidance would be necessary to ensure that the cultural heritage and the built environment are protected and enhanced; and
- housing delivery would need to be accompanied by the provision of appropriate facilities.



5 What Next

The appraisal of the strategy options has highlighted a number of sustainability issues relating to the proposed options. The findings and recommendations of this appraisal will be taken into consideration by the Council in determining the preferred strategy.

The Council has commissioned a number of studies e.g. Local Housing Market Assessment and Employment Needs Study, to assist in determining the preferred strategy. These studies will be used by the Council together with the findings of the appraisal in developing the LDP strategy.

The preferred LDP strategy will be set out in the Preferred Strategy Report which will be issued for formal consultation early in 2008.

Notation

Perf	ormance
++	Option is highly likely to assist the Sustainability Objective
+	Option is likely to assist the Sustainability Objective
0	Option is likely to have no effect on the Sustainability Objective
-	Option is likely to conflict with the Sustainability Objective
	Option is highly likely to conflict with the Sustainability Objective
<mark>+/-</mark>	Option is likely to assist and conflict with the Sustainability Objectives
?	The effect of the Option on the Sustainability Objective is unclear
Leve	els of Certainty
L	Certainty regarding the indicated performance of the Option against the SA Objective is low and further information may be needed to increase certainty
М	Performance has been determined with some certainty although further information would assist the appraisal
Н	The performance of the Option against the SA Objective has been determined with high certainty as sufficient information is available to assist the appraisal

Vale of Glamorgan LDP Strategy Options - Appraisal Matrix (Options 1 to 5)

LDP Strategy Options	and co Penar	n1: Maximis oncentratin th, Dinas F se (current	g growth ir Powys, Sull	n Barry, y and	employ the cur	ment oppo ent popul	rsal of hous ortunities b ation of ead ut a sustair	ased on ch	employmer the current	Dispersal of he at opportunities population of (with a sustain	s based on each	Option 3: Hig villages in ru Major, Cowb and potential identified).	ral areas (e. ridge, St. At	g. Llantwit han, Rhoose	Option 4: A i to promote s containment	sustainable s		Option 5: Con opportunities East Zone. T a key develop Other sustair accommodat associated de	in Barry and he St.Athan pment oppor nable settlem e further hou	d the South area to be rtunity. nents to using and
SA Objectives	Spatial	I	Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban Rura SE Vale			Urban Rural SE Vale			Urban Rural SE Vale			Urban Rural SE Vale		

1. To provide the opportunity for people to meet their housing needs.

Performance	++ - 0 M + ? 0 L ++ ++ 0 L 0 + 0 M - + 0 M ++ 0 H	0 M
Commentary	This option has potential to address housing requirements, including that of affordable housing, in urban areas that not the rural Vale. It builds on the existing strategy that has brought about deliver at through about deliver, the rural vale. It builds on the existing strategy that has brough about deliver, the rural vale at a sustainability test, housing need. Without deliver as the neitified for development. The housing and crutar is the furners. It is uncertain whether the level of housing provision would address the lack of afordable housing articularly in rural settlements. It is uncertain whether the level of housing will be deformed and growth continues. It is ourcellaw the through windfall applications. It is ourcellaw the through in rural settlements. It is uncertain whether the level of housing provision would address the lack of afordable housing particularly in rural settlements. It is uncertain whether the level of thousing will be keys estimenents. It is uncertain whether the level of thousing will be keys estimenents. It is uncertain whether the level of thousing will be keys telements. It is uncertain whether the level of thousing will be keys telements. It is uncertain whether the level of thousing will be keys telements. It is uncertain whether the level of thousing will be keys telements. It is uncertain whether the level of thousing will be keys telements. It is uncertain whether the level of thousing will be keys telements. It is uncertain whether the level of thousing will be provided that is with	across the whole Vale, res and for rural need sing allocation would n

2. To maintain, promote and enhance the range of local facilities.

Performance	+ - 0 M ? ? 0 L ? ? 0 L ? b A A A A A A A A A A A A A A A A A A
	It is assumed that growth will include the development This option will deliver housing without consideration The option will ensure that the range of facilities in This option would ensure that facilities in the four The option will only affect areas close to the It is assumed that development will include the
	of local facilities where there is a need. This option will of availability of supporting facilities. It is, therefore, those settlements, in which development occurs, villages identified remain viable, for example chosen location and will not address issues of provision of local facilities. This will proportionally
	lead to increased provision of facilities in urban areas likely that development will occur in settlements that will be maintained, enhanced and promoted.
	where local communities are likely to use them. do not have the facilities to meet the needs of the However, as the delivery of this strategy will be thereby reducing the need to travel to nearby Glamorgan. It is assumed that the facilities in the South East and help to address issues of poor
	Furthermore, the delivery of housing in urban centres local population. There would however, be scope for determined by the sustainability test, it is likely that settlements for such facilities. It is assumed that new development would be accessible and fit-for-
	will ensure that development occurs where appropriate the Vale of Glamorgan Council to set policies outlining settlements with a lack of facilities (particularly in growth will include delivery of appropriate, purpose for their catchment. The option may result to ensure that there is sufficient service capacity to
	facilities are available. As part of the Barry Waterfront planning obligations for new housing developments to rural part of the Vale of Glamorgan) may be additional local facilities in these settlements.
	regeneration scheme Barry and Penarth already have enhance facilities in these areas. excluded and may continue to experience a Although additional facilities are less likely to be areas. Alternatively if facilities within the new St Athan and Llantwit Major.
Commentary	well established local facilities, with additional services The use of current population figures rather than shortage of facilities.
Commentary	being developed as part of the regeneration effort. population forecasts do not give the best indication for
	However, rural areas will not benefit through this future housing need. settlements. However, settlements outside the pressure on their existing facilities e.g. St. Athan.
	option. There is also a significant need for increased In those settlements that have a good range of local (catchment area' of these four towns (e.g. Ogmore-
	provision of facilities in the rural Vale. The WIMD facilities (e.g. Barry and Penarth), new development by-Sea to the far west, St Bride's-super-Ely to the
	(Geographical access to services) indicates that may ensure that these are maintained and well-used. north) would not benefit significantly.
	services are less accessible in rural parts of the Vale However, it may be considered that due to the
	of Glamorgan than in urban areas. dispersed nature of development under this strategy,
	pressure on existing facilities may not increase
	significantly in small, rural settlements.
3. To maintain and improve ac	ccess for all.
Performance	

Performance	?	-	?	L	?	?	0	L	?	?	0	L	0	?	0	L	0	+/ <mark>-</mark>	0	L	+	+	0	М
Commentary	minimum of are designed Increased sensitive developme However u realised in realised in	design stand ed to be acco developmen locational ints are loc inder this op n rural area the urban	dards to ensu essible to all. It presents ar design to cated in acce tion, these ber as. Positive e centres to the	ations would set re that buildings n opportunity for ensure that essible locations. nefits may not be effects would be e south east and t environment.	minimum are design Increased sensitive developme	design standar ed to be acces development locational	rds to ensur sible to all. presents an design to	e that buildings opportunity for ensure that le locations.	minimum are desig Growth Glamorgi ensure th have im buildings Increase sensitive	n design st gned to be in settle an in bot hat a grea proved ac s. d developn e locatior	tandards to ensu accessible to all ements across oth urban and u	re that building the Vale of orural areas wi f the populatio es and specifi n opportunity for ensure tha	s minimum are desig f Increase ill sensitive n developr ic or at	n design st gned to be d develop e locatior	tandards to ensu accessible to al ment presents a nal design to	Ire that buildings I. n opportunity for	minimum of are design that the of and natura new settle elsewhere	lesign st ed to be ption wil al enviro ment an in the V . Howev	tandards to ensite accessible to a ll only affect ac onment for the d will not addre Vale of Glamor	ure that buildings all. It is expected ccess to the built population in the	 Vale of Gla to facilities greater pro- improved to Increased or sensitive developme Planning p minimum d 	amorgan shou , decrease is oportion of th o facilities and development locational onts are locate olicy and buil	uld help to in solation and the population d specific buil presents an design to ed in access lding regulati rds to ensure	prove access ensure that a have access dings. ppportunity for ensure that

LDP Strategy Options	and co Penart	oncentratir th, Dinas F	ising the po ng growth ir Powys, Sull t UDP strate	n Barry, ly and	employ the cur	ment opportent	rsal of hous ortunities b ation of eac ut a sustain	ased on ch	employment the current	Dispersal of he t opportunities population of with a sustain	s based on each	village Major	es in rur , Cowbi otential	ral areas (e.o	han, Rhoose	to pro	mote su	ustainable s		opportu East Zo a key d Other s accom	5: Concentrate unities in Barry a one. The St.Atha evelopment opp sustainable settle modate further h ated development	nd the South an area to be portunity. ements to ousing and
SA Objectives	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatia	I	Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban Rural SE Vale			Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale	

4. Reduce the causes of deprivation.

•	
Performance	<u>+</u> 0 0 <u>M</u> + + 0 <u>M</u> + - 0 <u>L</u> - 0 0 <u>M</u> - 0 <u>M</u> + <u>+</u> 0 <u>M</u> <u>+</u> 0 <u>M</u> <u>+</u> 0 <u>M</u> <u>+</u> <u>+</u> 0 <u>M</u>
	High levels of multiple deprivation are observed mainly Areas with relatively high levels of multiple deprivation The sustainability test will identify these High levels of multiple deprivation are observed A single new settlement will not address A balanced spread of growth should increase
	in and around Barry as detailed in the Welsh Index of are mainly concentrated in and around Barry. esttlements with sufficient, appropriate facilities mainly in and around Barry, while this is not a key deprivation and isolation issues throughout much of number of homes thereby, contributing to tac
	Multiple Deprivation. The option therefore presents an Provision of housing and employment opportunities including health services, leisure facilities, schools issue for the rural Vale. However, isolation and the Vale of Glamorgan, especially in urban areas the causes of deprivation proportionally
	opportunity to address deprivation through will be focused on larger urban settlements including etc. to support development. The option may access to services are areas of some concern. where problems exist.
	regeneration in Barry and other settlements. Barry, presenting the opportunity to reduce the therefore result in the exclusion of those Therefore, focusing growth in the rural centres is
	Multiple deprivation is not a key issue for the rural causes of deprivation. The introduction of new settlements (particularly rural ones) in which unlikely to address the issue in Barry and other
Commentary	Vale, although isolation and access to services are housing offers the opportunity to enhance facilities access to services (a WIMD domain) is an issue. urban centres.
Jonnientary	areas of concern. through planning conditions and S106 agreements. However, some of those settlements with high
	levels of multiple deprivation may be identified for
	development and, therefore, it would be expected
	that these deprivation issues would be addressed.
	The level to which deprivation is addressed in
	these areas is dependent upon the type and level
	of development allocated to the various locations.
5. To maintain, protect and enh	ce community spirit.
Performance	
	Development presents an opportunity to promote It would be expected that new developments would It would be expected that new developments would Growth in these settlements may contribute to A new settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well Growth in these intervention areas may contribute to the settlement has the potential to be well growth in these intervention areas may contribute to the settlement has the potential to be well growth in these intervention areas may contribute to the settlement has the potential to be well growth in these intervention areas may contribute to the settlement has the potential to be well growth in these intervention areas may contribute to the settlement has the potential to be well growth in these intervention areas may contribute to the settlement has the potential to be well growth in these intervention areas may contribute to the settlement has the potential to the settlement has the potential to the settlement has the potential to
	distinctiveness, reduce the fear of crime and provide be designed to enhance community spirit through be designed to enhance community spirit through an increase

Performance	+	0	0	L	+	+	0	L	+ +	0	L	0	-	0	М	0	+/-	0	М	+ +	0		L
Commentary t	distinctiveness community fac his option foci	s, reduce the t cilities to enha uses developn e realised main	fear of crim ance commu nent in urba	e and provide	be designed local distinctiv	to enhance	community	spirit through	It would be expected be designed to expect local distinctivent crime.	enhance commun	ty spirit through on in the fear of	community developmen The option	spirit the of facilitie offers the of ss and re	hrough an es and good de opportunity to educe the fea	increase in sign.	designed and enco ownershi	in order t urage loca p. Howev	o reduce crime al distinctivene er, this would	e, provide facilities ss and community only apply to the	to community development	spirit throug of facilities, g	ih an incre ood design	ease in and a

6. To minimise the causes and manage the effects of climate change.

Performance	+	0		0	L	+	-	0	М	+/-	0/-	0	М	0	+/-	0	М	0	-	0	М	+	/- +/		0	М
Commentary	across t travel a from tra green s Develop use dur efficient requirer Depend develop Develop future estuarin Barry a	he Vale of nd hence nsport. Th nks. ment will ing constru- buildings of hents of ne ing on ment, flood ment, flood ment in c sea level e areas a	Glamorg; reduce g e option initially r uction. Th can help w building exact lo plains m oastal a rise parti round O . Furtheri	in may re- reenhouse offers soi esult in ir ne develop reduce op gs. ocation a jay or may reas may ricularly ir igmore-by- more, part	duce the need to e gas emission me protection of creased energy prent of energy erational energy and design of r not be affected be affected b n the low lyin Sea, Aberthaw s of Sully, Dina	 of Glamor hence rei hence rei transport. Developme use during efficient bu requirement Issues rel effects on coastal are particularly ogmore-by s cossility, D 	gan may duce gree ent will ini j construct uildings car nts of new lating to c green sink: developm eas may be as may be y-Sea, Abe inas Powy:	reduce the r enhouse gas tially result ir ion. The deve h help reduce buildings. levelopment s will be depe ent. Additiona e affected by l w lying estua erthaw, Barry s, Barry, Lland	eed to travel ar emissions fro lopment of energi- operational energi- in floodplains ar indent upon specifi- ally development uture sea level ris-	nd Vale of and her transpo gy Develop gy use du energy operation in specific se be note tand Llandow of fluvi an coastal rise pa	Glamorgan cce reduce rt. pment will i rring cons efficient on green location of d that part v and Pend al flooding areas may rticularly ir Ogmore-I	n may reduce greenhouse g nitially result in truction. The buildings ca requirements development sinks will be f development ts of Sully, Dir oylan amongst g. Additionally be affected b the low lyin	the need to trav as emissions fro development an help reduc of new buildings in floodplains ar dependent up although it shou as Powys, Barr others, are at ri development	rel towns i reduce Develop gy use du of energy operatie Issues effects on specific develop y, future s sk estuarir i Abertha as	may reduc greenhous pment will uring cons efficient onal energy relating to on green clocation pment in c sea level ne areas	e the need to e gas emissior initially result in struction. The buildings c y requirements development sinks will be of developr oastal areas n rise particularl	ment in these rura o travel and hence as from transport. In increased energy e development o can help reduce of new buildings. in floodplains and e dependent upor ment. Additionally hay be affected by y in the low lying more-by-Sea, and	 e emissic sink cc increas f and en e upon ff locatior d coastal n areas y and Pe y by futur 	ons and energy use in leargy use in loodplains of develo areas, par around Og enarth, the	ergy use as we a rural loc. to and from in the devel- would depert would depert and ticularly in the gmore-by-Se new settlem	vell as reduce gr ation. It would the new settlen opment. The im nd upon the e ionally, if locate e low lying estua a, Aberthaw, B	een urba also Non nent ener pact desi xact etc. d in Sull rine Pen arry floor cted may in th	an areas alr etheless, rgy use as truction of can negal y, Dinas doylan am ding. Additi v be affecte ne low lyin	eady serve other issu a result o green sink ively affec Powys, ongst oth- onally dev- d by future g estuaring	ed by public ues such f increased s, building tt this obje Barry, l ers are at elopment in sea level r	c transport. as increased development, on floodplains ctive. Parts of Llandow and risk of fluvial o coastal areas ise particularly pund Ogmore-
7. To minimise waste.																										
Performance	0	0		0	М	0	0	?	М	0	0	?	М	0	0	?	М	0	0	?	М	(0 0		?	М
Commentary	govern Develop	he levels o ment could	f waste g I result in	oing to lar the reuse	dfill.	lings in these	urban area	as, reducing w	in the levels of ware	0	ted will be	the same. The	South East Wal	es Regional	Waste Pla	an and the Land	dfill Directive limits									

LDP Strategy Options	and cor Penarth	ncentratin n, Dinas F	• .	•	employ the cur	/ment opp rent popu	ersal of hou portunities lation of ea put a susta	based on ach	emplo the cu	yment rrent po	spersal of ho opportunities opulation of e vith a sustain	based on each	village Major	es in ru Cowb otentia	gher growth i ıral areas (e.ç oridge, St. Ath ılly others to b	g. Llantwit nan, Rhoose	to pro	mote si	ustainable s		opport East Z a key Other accom	tunities Zone. Th develop sustain modate	n Barry an	nents to using and
SA Objectives	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		

8. To use land effectively and efficiently.

Performance	+ + 0 M	+ ? 0	M +	? 0	M	0	M	0	М	+ +/	0	М
Commentary	This option offers some protection of the countryside from inappropriate development by focussing development in urban settlements that have brownfield	in urban areas, particularly Barry. Development in rural settlement within existing built up areas v ensure that the countryside inappropriate development. How upon the availability of land for settlement boundaries. The option presents the opport	sites in u berever possible to is protected from ver, this will depend development within unity to encourage ments in both urban	Irban areas, particularly Barry ment in rural settlements wor isting built up areas wherev that the countryside is pr riate development. Howev upon the availability ment within settlement bound tion also presents the o	developed land a settlements (with result, it is likely t will be located on er, this will boundaries. Effici from through good qua rries.	available in some of the the exception of St Athe hat most of the new de greenfield land outside sent use of land can be	these rural greenfield lan than). As a evelopment opportunity fo e settlement and high dens the achieved	d and would have yside and landsca the development	an adverse effectape. There is the	t urban areas, ther developed land to	e is high potentii be used, particu ents developme epending upon t ent within settlen that major dev iloyment) at St A previously devel ural settlements v lt up areas where countryside is elopment. presents the juality high-densi	al for previously larly in Barry. In nt in greenfield he availability of nent boundaries. elopment (both Athan and Barry oped land. vould need to be ever possible, to protected from opportunity to

9. To protect and enhance the built and natural environment.

Performance	+ +	0	L +	+/-	0 M	+ +	/ <mark>-</mark> 0	М	0 +	/ <mark>-</mark> 0	М	0	0	М	+	-	0	М
		elopment may either po																
	negatively affect th	he built environment	this is ensuring	hat developmer	nt is focussed wi	hin on ensuring	that development is	focussed within	settlements is	s likely to be adve	rsely affected as	biodiversity,	landscape, soi	I function, wate	r particularly	/ in urban area	as, as developm	nent ca
		gn at project levels. It is																
	that planning policy	would set out minimu													d improvem	ent as long as	it is properly in	itegrated
	standards.				gh regeneration and								n of the new settle	ement.	The natu	ral environmen	t in and aroun	1d thes
		mit development in ru										:			settlemen	is is likely to b	e adversely affe	ected a
	therefore providing so	ome protection to the co	ountryside is assume	d that planning	policy would set												biodiversity, lar	
	from inappropriate dev			esign standards.			e adversely affected								soil function	on, water resou	rce use and he	ritage. I
		becoming evident th										2			number of	rural settlemer	nts are located in	n specia
		significant habitats for								ent in these settlem	ents.				landscape	areas, the cha	aracter of which	i may b
Commentary		abitats may be aff														affected by dev		
	development in urban	areas, particularly in B	arry. resource u	se and heritag	je. A number of r	Iral the character	of which may be n	egatively affected									rry and Sully are	
		e, Barry and Sully are															line, where gro	
		coastline, where gro															the coastal envi	
		affect the coastal env					to the coastline, w										ay be affected a	
		may be affected along													, ,		as well as the c	:andidat
		as well as the candida													Severn Es	tuary SAC.		
	Estuary SAC.				he coastal environm			as the candidate										
					e affected along the Ba		ry SAC.											
					as the candidate Sev	ern												
			Estuary SA	2.														
10. To provide a high quality envir	onment within all	new developm	ents.															

Performance	+ 0 0	L	+ +	0 M	++ +	0 V	0	+ 0	М	0 +	0 M	+ +	0	М
Commentary	The extent to which this strate objective is dependent upon h carried out at project level. It is as policy would set out minimum des Development may result in the re such as Barry and the integration may act as a catalyst for or improvements.	ow development is ssumed that planning sign standards. egeneration of areas of new development verall environmental	objective is dependent carried out at project leve policy would set out minin Development may result such as Barry and the inte	upon how development is I. It is assumed that planning num design standards. in the regeneration of areas egration of new developmen	 objective is dependent objective is dependent objective is dependent of the planning policy with standards. Development may areas such as Bail 	dent upon how developr ject level. It is assume ould set out minimum result in the regenera	ent is objective is of carried out a carried out a planning pol standards. Development of the activity and the integrad	dependent upon how of at project level. It is licy would set out mi t may result in the impro- environment in these ru	development is des assumed that qua nimum design acc spir ovement of the this irral settlements else ent may act as thro	igned from the o lity, sustainable r ess etc. and can it. The developm manner could se ewhere in the Va	utset in order to include materials, use of open sp promote a positive commi- tent of the new settlement of the new settlement the precedence for development ale of Glamorgan, particu	high development is no order to include h use of open space t in positive communication area	well-designed from the high quality, sustainable ce, access etc and can hity spirit. This will a	e outset in e materials, promote a pply to all

¹ Guideline for the Selection of Wildlife Sites in South Wales, August 2004, South Wales Local Authorities and Wildlife Trusts.

LDP Strategy Options	and cor Penarth	1: Maximis ncentrating n, Dinas P e (current l	g growth ir owys, Sull	n Barry, ly and	employ the cur	ment opp	rsal of hou ortunities b lation of ea out a sustai	based on tich	employm the currer	ent opportun nt population	of housing and ities based on of each tainability test).	village Major,	es in rura Cowbrid otentially	al areas (e.	han, Rhoose	Option to pron contair	note
SA Objectives	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial	Trans- boundar	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial	
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban Ru SE Va			Urban SE	Rural Vale			Urban SE	Rura Vale
11. To protect, enhance and promote t	the qua	lity and (characte	r of the Val	e of Gla	amorgar	's culture	e and herit	age.								
Performance	+/-	+	0	М	+/-	-	0	М	+/-	- 0	М	0		0	М	0	+/-
Commentary	designatio Glamorgan listed bui monumen enhance a Growth wi improve environme buildings. opportunit cultural/his developme In the rura growth wil cultural an the negat	ons and protect n. In urban c ildings, cons its, which s and promote. ill provide the the quality ents, particula Although new y to enhance storic environ ent may be ins al Vale, where ill take place, nd historic env	cted monume entres, there ervation are sensitive dev opportunities of cultura arly with reg w developme and promote mment, there sensitive to th e it is not exp it is assumed ironment will f developmen	nts in the Vale of are a number of as and ancient velopment could in urban areas to al and historic gards to historic nt may offer the the quality of the is the risk that ese assets. pected that much t that the existing be protected from it. The setting of	designatic Glamorga listed bu monumer enhance a Growth w improve environme buildings. opportuni cultural/hi developm There are may be a	on and protect in. In urban of ildings, con- tits, which and promote. the quality ents, particu- Although ne- ty to enhance storic enviro- ent may be in heritage feal	ted monumen centres, there servation area sensitive dev opportunities i of cultura larly with reg w developmen and promote nment, there asensitive to th ures of value in	ts in the Vale of are a number of as and ancient elopment could in urban areas to I and historic ards to historic at may offer the the quality of the is the risk that ese assets. In rural areas that	designation a of Glamorga number of lis ancient mon could enhanc Growth will p to improve environments buildings. Alt opportunity t the cultural/t that develop assets. There are he	and protected mo in. In urban co ted buildings, co uments, which size and promote. rovide the opport. So particularly with ough new devel o enhance and p istoric environm- ment may be	of historic buildings, onuments in the Vale entres, there are a nservation areas and ensitive development unities in urban areas cultural and historic th regards to historic opment may offer the romote the quality of ent, there is the risk insensitive to these f value in rural areas evelopment.	designati Vale that settlemen numbers Cowbridg the oppoi of the cu that dev assets. There arr that may	ions and pr t may be al ents. In pr s of listed l ge. Althoug ortunity to e ultural/histor velopment re heritage	rotected monui ffected by deve varticular there buildings in LI gh new develo enhance and pr ric environmen may be inse features of va	lue in rural areas	landscape However, therefore areas from	e and I , it wo offer :
12. To reduce the need to travel and e	nable th	ne use of	f more su	ustainable	modes	of trans	port.										
Performance	+	-	?	М	+	-	0	М	+	- 0	М	0	+/-	0	L	0	-
Commentary	that devel to service urban se accessible particularly However, continue the limited pro communiti be poor Colwinston settlement	opment is loc: as as well as sttlements in by existing y via the Card in the rural Va o be an issue ovision of faci ies. Bus serv in Abertha n and Per	ated in areas to neighbou the south national publi liff-Bridgend ra ale isolation of , as there wou illities and em rice provision tw (West), nllyn among ed in the LI	with easy access ring areas. Most east are also ic transport links, all service. f settlements may uld continue to be ployment in rural is considered to Cog, Penmark, jst other rural DP Sustainability	and Pena result in transport. existing n the Cardii It would I and emp local inve work loca majority of require a area (as Draft Sco In larger	rth may redui the use of Most urban lational public f-Bridgend ra- be anticipate loyment in r stment and th ally. However of residents the re unlikely to detailed in th ping Report, centres, ho ppropriate er	ce the need to more sustai settlements a transport links il service. d that the prov ural settlemen herefore encour , there is the o work away b be provided e LDP Sustair February 2007) wever, it may	travel by car and inable forms of re accessible by rision of housing ts would attract rage residents to potential for the as the jobs they within the local ability Appraisal be possible to	Barry and Pa and result in transport. M accessible t links, partic service. It would be a and employn local investm to work loca work away a the jobs the within the loc In larger cer provide app commuting. Through the communities have to con	enarth may reduc the use of more flost urban se y existing natic ularly via the nticipated that the nent in rural settl ent and therefore ly. However, the nd are likely to c y have are unli al area. tres, however, it rropriate employ sustainability te that lack appro	ban centres such as ce the need to travel sustainable forms of ttlements are also and public transport Cardiff-Bridgend rail e provision of housing ements would attract e encourage residents majority of residents continue to do so, as kely to be provided t may be possible to yment and reduce st, residents of rural opriate facilities may ong distances to use	include employm would be urban cei this optic depender Resident to contin use of so Furtherm only sett Glamorga available an oppoo settlemer service µ Aberthaw Penllyn a	developm nent opport e expected entres would on achieve ent upon the ts in small nue travelli ome facilitie nore, Rhoo tlements w an Railway e in other m ortunity to insts and of provision i w (West), (nent of loca tunities. If this that the need d be reduced. I es this sustaina e policies gover er rural settlem ing to the larg es. Dise and Llantwith rail service y Line. There is rural settlement improve bus s ther rural tow is considered Cog, Penmark	I facilities and s is the case, it to travel to larger The level to which ability objective is ning delivery. ents would need er settlement for vit Major are the s on the Vale of s no rail transport ts. There may be services in these ns in which bus to be poor (e.g.	short-tern wider tra commutir with res transport settlemer address private ca the need for higher	n, it is affic of ng. Mu pect f links. nts in t issues ars in r to tra

13. To provide for a diverse range of local job opportunities.

Performance	++ <mark> +/</mark> M	+ -	0 M	+ -	0	М		0	М	- +	0	М	++ -	0	М
	Development is likely to provide opportunities for	Development is likely	to provide opportunities	for Development is	ikely to provide	opportunities for	Although unemploy	ment is not a ke	y issue in rural	If the settleme	ent is sustainable a	nd self-contained,	Development is like	ely to provide	opportunities for
	employment in urban areas such as Barry and	employment in urban	areas such as Barry a	ind employment in u	irban areas such	n as Barry and	settlements, most	residents are em	ployed outside	it is assum	ed that it woul	d provide local	employment in urb	an areas suc	h as Barry and
	Penarth, where unemployment is an issue.	Penarth, where unemplo	yment is an issue. It may	be Penarth, where u	nemployment is	an issue. It may	their settlement a	nd some outsid	e the Vale of	employment	opportunities in	the area of	Penarth, where une	mployment is a	an issue.
	Although unemployment is not a key issue in rural	difficult to attract some	large employers to sma	ller be difficult to a	ttract some larg	e employers to	Glamorgan. There	are limited loc							
	settlements, most residents are employed outside their	settlements due to there	not being appropriate are	as smaller settleme	ents due to th	ere not being	opportunities in rura	al settlements.		into a commu	iter settlement. Ho	wever, this would	due to inappropriat	ely sized emp	ployment sites to
	settlement and some outside the Vale of Glamorgan.	for large scale industrial	developments. This theref	ore appropriate area	as for large s	scale industrial	In urban areas	such as Pe	enarth, where	not assist i	n providing a d	iverse range of	smaller settlements	therefore limit	ting the range of
Commentary	There are limited local employment opportunities in	limits the range of job	opportunities that can	be developments.	This therefore lim	its the range of	unemployment is	an issue, the o	reation of job	employment	opportunities lo	cally in other	job opportunities t	hat can be p	provided in rura!
	rural settlements. Through this strategy, rural areas	provided in rural settleme	ents.	job opportunities	that can be p	rovided in rural	opportunities would	I be limited by this	option.	settlements.			settlements. Develo	opment in St A	than is expected
	would continue to be affected by the lack of local	Overall, although job opp	ortunities may be increase	ed, settlements.									to create many loca	ıl jobs.	
	employment opportunities.	though not significantly,	the range of jobs availa	ble Overall, althoug	h job opportu	nities will be							Overall, although	ob opportuniti	les are likely to
		will be limited due to	the dispersed nature	of increased, thoug	h not significantl	y, the range of							increase, the range	e of jobs availa	able may remain
		development.		jobs available wil	I be limited due	to the dispersed							limited due to	the dispers	ed nature of
				nature of develop	ment.								development.		

	ıral new sett Istainable se		opport East Z a key o Other accom	unities one. Th develop sustain modate	in Barry and in Barry and ne St.Athan a oment opport able settlem e further hou evelopment.	the South area to be tunity. ents to
	Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty
al e			Urban SE	Rural Vale		

<mark>-</mark>		0			N	+/-	-	0	М
d heri /ould r sor	itage defl ne p	value ect de	in its evelop on to	immedia ment fro	y affect ate area. om, and ing rural	designati of Glam number of ancient r could enl Growth areas to environm buildings the oppo of the cu that dev assets. There ar	ion and pr organ. In of listed bu monument hance and will provious improve th improve th inents, pari. Althougi rtunity to e ltural/histot elopment e heritage	e number of his otected monume i urban centres uildings, conserviti s, which sensitik promote. de the opportui he quality of culti ticularly with reg h new developr enhance and proi pric environment, may be insen features of value ad by new develop	ents in the Vale s, there are a ation areas and ve development nities in urban ural and historic pards to historic nent may offer mote the quality there is the risk sitive to these le in rural areas

	?	L	++	0	?	М
is like con luch to s. H the the ravel	ely that over time igestion through depends upon the existing and provide the owever, consider UK, it is unlikely elating to the al areas, nor is it	contained in the e it will generate n in and out- ne exact location proposed public ering other new y that this would dependence on likely to reduce or urban centres	to work travel to settleme national Cardiff-B Increase around e travel dis truly se reduced	locally, ti work and nts are public trans tridgend ra d develop existing ru stances. If If-containe travel d	ban areas should herefore reducir commute to Car also accessibl nsport links, par ill service. oment of home iral centres cou St Athan and Lla ed, this would istances, but t ips from surround	ig the need to diff. Most urban e by existing ticularly via the s and facilities ild also reduce antwit Major are also result in hey may also

LDP Strategy Options	and co Penart	oncentratin th, Dinas F	sing the po ng growth i Powys, Sul UDP strat	n Barry, Iy and	employ the cur	ment opp rent popu	ersal of hou portunities b lation of ea put a sustai	ased on ch	Option 2b: D employment the current p settlement (v	opportunitie opulation of	s based on each	Option 3: Hig villages in ru Major, Cowb and potentia identified).	iral areas (e. oridge, St. At	g. Llantwit han, Rhoose		sustainable s	ettlement able self –	Option 5: Co opportunities East Zone. T a key develo Other sustair accommodat associated d	in Barry an The St.Athan pment oppo nable settler te further ho	d the South a area to be ortunity. ments to ousing and
SA Objectives	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban Rural SE Vale			Urban Rural SE Vale			Urban Rura SE Vale	I		Urban Rural SE Vale		

14. To maintain and enhance the vitality and viability of the Vale of Glamorgan's town, district and local centres.

Performance	+ - ? M ++ 0 M ++ 0 M 0 + 0 M +/ 0 M ++ 0	М
	This option offers a significant opportunity to enhance This option offers a significant opportunity to enhance This option offers a significant opportunity to this option would maintain the vitality and viability The new settlement has potential to be well. This option offers a significant opportunity to enhance This option offers a significant opportunity to enhance the vitality and viability and viability and viability to enhance the vitality	cant opportunity t
	vitality and viability through new development in urban vitality and viability through new development in both enhance vitality and viability through new of these four villages. However, other town, district designed to ensure its own vitality. However, this enhance vitality and viability	ility through nev
	areas through the integration of new development with urban and rural areas. and local centres in the Vale of Glamorgan in need largely depends upon the exact design of the development in both urban and	l rural areas.
	existing facilities. However, rural centres may not There is an opportunity to make town centres There is an opportunity to make town centres of regeneration, would not benefit through this development. It will not address vitality problems There is an opportunity to make	make town centre
	benefit. attractive to local residents that currently use out-of- attractive to local residents that currently use out-of- attractive to local residents that currently use out-	at currently use ou'
	There is an opportunity to make urban centres town retail developments (e.g. Culverhouse Cross). It of town retail developments (e.g. Culverhouse Cross). It of town retail developments (e.g. Culverhouse Cross).	(e.g. Culverhous
	attractive to local residents that currently use out-of- is assumed that local community and leisure facilities Cross). It is assumed that local community and attractive to local residents that currently use retail This may result in nearby settlements losing vitality Cross). It is assumed that local	ocal community an
Commentary	town retail developments (e.g. Culverhouse Cross). It will be provided together with new housing and leisure facilities will be provided together with new facilities in larger settlements. It is assumed that as residents use these newer facilities.	d together with nev
	is assumed that local community and leisure facilities employment. housing and employment. local community and leisure facilities will be	
	will be provided together with new housing and An increase in population and jobs and overall An increase in population and jobs and overall provided together with new housing and An increase in population and	id jobs and overa
	employment. investment in a number of local centres should investment in a number of local centres should employment.	ocal centres should
	An increase in population and jobs and overall contribute positively to vitality and viability of the contribute positive	and viability of th
	investment in a number of local centres should centres, particularly for rural settlements. centres, particularly for rural settlements.	ettlements.
	contribute positively to vitality and viability of the	
	centres, particularly for rural settlements.	

15. To promote appropriate tourism.

Performance	?	0	0	L	?	?	0	L	??	0	L	0	?	0	М	0	0/-	0	М	?	? 0	L
Commentary	therefore businesses predomina these sett that start u As develop is assume	increasing s. At present antly resident tlements will up as growth o pment would	opportunities most develop ial. Tourism depend upon continues. be focused in would be no	s for tourism pment has been development in the businesses urban centres, it	this strateg development strategy. Development or negatively although it	y, it is unl t will occur nt in the vario y affect any to would be ex	likely that s purely as a us settlement purism assets spected that	ts may enhance is in those areas, planning policy	this strategy, development w strategy. Development enhance or neg those areas, a	t is unlikely tha ill occur purely in the various jatively affect any though it would design standards		 depend u continues Developr enhance those are those are 	upon the bu s. ment in or negativ eas, althou policy des	usinesses that s the various s vely affect any to ough it would be	art up as growth ettlements may purism assets in e expected that	significar as a who	ntly affect			contribute to intervention uncertain at Tourism de	a tourist infra areas, althoug this scale. velopment in the n the businesse	infrastructure could structure across the h this would be ese settlements will es that start up as

Vale of Glamorgan LDP Strategy Options - Appraisal Matrix (Options 6 to 8)

LDP Strategy Options SA Objectives	Maximis concent Dinas F (current develop	6 (Option 1 and Opti sing the potential of a trating growth in Barr Powys, Sully and Rho UDP strategy) as w sing a new rural settle e sustainable self-co	and ry, Penarth, pose rell as ement to	Conce opport South area to opport settlen further develo	ntrate de unities ir East Zor b be a ke unity. Ot nents to housing	2b and Op evelopmer n Barry and ne. The St ey develop her sustai accommo accom accommo accommo accommo accom acc	nt d the .Athan ment nable date ciated	Option 8 (Opt Concentrate opportunitie South East area to be a opportunity. settlements settlement) further hous development	e developm s in Barry a Zone. The key develo Other sust (including to accomming and as	ent and the St.Athan opment ainable a new rural odate
	Spatial	Trans- boundary	Level of Certainty	Spatial	1	Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty
	Urban SE	Rural Vale		Urban SE	Rural Vale			Urban Rural SE Vale		
1. To provide the opportunity for people to	meet th	eir housing needs.								
Performance	7500 units be key s appropriate and the n has broug Haven an may be potential t through th	+ 0 ng allocation for the Vale . It is envisaged that Barry a ettlements with the remai ely in Penarth, Dinas Powy: ew settlement. The currer th about delivery of hou: d Rhoose Point and therel delivered elsewhere. The o meet the housing need a e windfall development, de n of sites across the Vale.	and St. Athan will inder distributed s, Sully, Rhoose It UDP Strategy sing in Penarth fore, more units his Option has around the Vale	housing n both exist this appro too thinly The susta delivered accommo	eeds in cen ing urban ce ach, housing across the Va ainability test in those se date new de	tres across the ntres and for re allocation wou ale of Glamorga would ensure ttlements with evelopment, pa	e whole Vale, in ural needs. With Id not be spread an. that housing is	7500 units. It is e will be key settle housing in the new would not fully add Option has poten around the Vale	nvisaged that B ments. This opion settlement and dress the needs ntial to meet through the win	arry and St. Athan ion would provide in urban areas but in rural areas. This
2. To maintain, promote and enhance the r	ange of									
Performance	that devel are availa established being dev regeneration rural areas the surrou		ropriate facilities ready have well ditional services rry and Penarth Id be realised in v settlement and g rural access to	facilities in existing fa ensure tha with signif There wo Council to	n both rural acilities rema at there is su icant new po ould be scop o set policies ousing develo	and urban area in viable. It wil fficient service pulations. be for the Vale s outlining plan	as ensuring that I be essential to capacity to cope e of Glamorgan uning obligations	be realised in the u also across rural realised in the particular which positive affects in There would be Council to set pol	urban centres to areas. Positive area of the n would create rural areas. scope for the \ icies outlining p	effects would be ew settlement in combined major /ale of Glamorgan
3. To maintain and improve access for all.										
Performance	+	+ 0	М	+	+	0	М	+ +	0	М
Commentary	minimum are design Positive ef to the sout built enviro Mixed effe benefits for windfall de may not developme locational	policy and building regula design standards to ensur ed to be accessible to all. fects would be realised in th th east and Rhoose in terms onment. acts would be realised in r for the new settlement, and evelopment, but existing run- be addressed elsewh ent presents an opportuni design to ensure that de accessible locations.	e that buildings ne urban centres of access to the ural areas, with associated with al access issues iere. Increased ity for sensitive	minimum are design Growth in in both u greater pr improved Increased sensitive developm	design stan- ned to be acc settlements irban and rr oportion of t access to fa developmen locational	dards to ensur essible to all. across the Va ural areas will he population acilities and sp nt presents an design to	e that buildings le of Glamorgan ensure that a will have access becific buildings. opportunity for ensure that	of Glamorgan sh facilities and decr across the Vale include good de access. Increas opportunity for se	standards to en e accessible to a read of populatic iould help to in of Glamorgan sign measures ed developme nsitive locationa	sure that buildings II. on around the Vale nprove access to New development has potential to to improve local

7

LDP Strategy Options SA Objectives	Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment. 4 Spatial Trans- boundary Level of Certainty 5					ntrate de unities in East Zor b be a ke unity. Ot nents to housing	2b and Op evelopmen b Barry an he. The St y develop her sustai accommo accommo and asso ased on a est.	nt d the t.Athan ment nable date pciated	Conc opport South area opport settle settle furthe	entrate rtunitie n East to be a rtunity ments ment)	tion 5 and Op e developme s in Barry a Zone. The S a key develo Other susta (including a to accomm sing and ass nt.	ent ind the St.Athan opment ainable a new rural odate
	Spatial				Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		
4. Reduce the causes of deprivation.		99)										
Performance	+		0	М	+	+	0	М	+	++	0	М
Commentary	would be east wher Multiple of Vale, alth areas of achieved settlemen	realised in t e multiple de leprivation is lough isolatio concern. Re as a casca t and thr	he urban cent privation is a ke not a key is: on and access eduction in de ide effect fror	res to the south ey issue. sue for the rural to services are privation may be n the new rural I development,	east part spread of decent contributir Barry). L significant rural part necessari	of the Vale f growth she homes ar ng to tackling arge growt ly to employ s of the Va ly reduce dep	e of Glamorg ould increase ad business the causes of h centres w ment and resi ile. However, privation assoc	an. A balanced the number of development, deprivation (e.g. rould contribute dential growth in	deprivat the sout A reduct cascade	ion would h east and tion in dep	be realised in the d also across rura privation may also om the new rural s	the causes of e urban centres to l areas. be achieved as a settlement through
5. To maintain, protect and enhance comm	nunity s		_								_	
Performance	distinctive communit this option	ness, reduce y facilities to n focuses de rural settlem	e the fear of contract of cont	L nity to promote rime and provide munity spirit. As rrban settlements will be focussed	positive. communit of facilities	Growth in t y spirit throug	hese areas m gh an increase	ay contribute to	commur	nity spirit t	hrough an increa	M aay contribute to se in development
6. To minimise the causes and manage the	e effects	of clima	te change									
Performance	+/-	0	0	L	+/-	+/-	0	М	+	+/-	0	М
Commentary	across the travel and from trans Developm use durin efficient b requireme Dependin developm Developm future se estuarine Barry and	e Vale of Ĝlai sport. eent will initia g constructio uildings can ents of new bi g on exac ent, flood pla eent in coas a level rise areas arour Penarth. Fu	morgan may re ice greenhous ally result in i n. The develo help reduce of uildings. ct location ins may or may tal areas may particularly i nd Ogmore-by	duce the need to e gas emissions ncreased energy pment of energy perational energy and design of y not be affected. be affected by n the low lying -Sea, Aberthaw, ts of Sully, Dinas	limit trave gas emis developm public tran settlemen test therei are suffici Nonethele use as a of green negatively floodplain	I distances an sisions. The ent in the un sport. Loca ts will be deter by ensuring t ent facilities t ss, other iss esult of incre sinks, build affect this	nd hence vehic option also rban areas ali tition of develop ermined throug that growth occ o sustain it. sues such as in eased develop ding on flood objective. A	cular greenhouse promotes more ready served by oment in smaller h a sustainability curs where there increased energy ment, destruction plains etc. can large area of	commut opportur spreads fewer/sh vehicula develop settleme increase sinks, m	ing as t nities for of home norter trip r greenho ment ove ent will ed floodin	here would be public transport a s, jobs and servi is being made buse gas emission erall and particul lead to increas	a reduction in more accessible and the increased ces would lead to and hence fewer is. However, more arly a new rural ed energy use, truction of green
7. To minimise waste.					·							
Performance	0	0	0	М	0	0	0	М	0	0	0	М
Commentary	Regional Developm	Waste Plan a ent could res	nd the Landfill sult in the reuse	t is the same for a Directive limits go of disused building e consideration of	overn the levings in these	vels of waste e urban areas	going to landfil , reducing was	Ι.	0	ted will be	the same. The S	outh East Wales

LDP Strategy Options SA Objectives	concentra Dinas Po (current l developir	ating gro owys, Su UDP stra ng a nev	Illy and Rho ategy) as w v rural settl	rry, Penarth, oose vell as	opport South area to opport settlen further develo	unities in East Zo be a ke unity. Of nents to housing	evelopmer n Barry an ne. The Si ey develop ther sustai accommo g and asso pased on a est.	d the Athan ment nable date vciated	oppor South area to oppor settle settle furthe	tunitie East to be a tunity. ments ment)	to accomm	and the St.Athan opment ainable a new rural odate
	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty	Spatial		Trans- boundary	Level of Certainty
		Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		
3. To use land effectively and efficiently.								1		1		
Performance	++		0	М	+	+/-	0	М	++	+/-	0	М

i enemianee												
	Major positive effects w	ould be realise	ed in the urban	There is th	e opportunity	y to redevelop	brownfield sites	As devel	opment is	s mainly foc	used in exi	sting urban
	centres to the south east	t and Rhoose	where there are	in urban are	eas.			areas,	there is	high pote	ential for	previously
	more areas of previously											
	such as Barry and Pen	arth have sign	ificant amounts									
	of brownfield land that c	an be re-develo	oped.	the counti	ryside is p	protected from	n inappropriate	upon the	e availabil	ity of land f	or develop	ment within
	There is the potential ho	owever, that de	evelopment may	developme	nt. However	r, this will de	epend upon the	existing b	ouilt up ar	eas.		
	occur on edge of to	wn, greenfield	I land as the	availability	of land for de	evelopment wit						
Commentary	availability of brownfield			up areas.						at St Athan		would use
Commentary	Negative effects would a											
	single new settlement is					ty developmen						
	of greenfield land, althou				reas.			greenfield	d land and	d would hav	e an advers	se effect on
	the selection of sites t	that contain b	rown field land					the coun	tryside ar	nd landscape	e, although	preference
	within the rural Vale.							can be g	given to t	the selectior	n of sites t	hat contain
								brown fie	eld land wi	ithin the rura	I Vale.	

9. To protect and enhance the built and natural environment.

Performance	+	+/-	0	М	+	-	0	М	+	-	0	М
Commentary	to the south ea and regeneration Mixed effects w new settlement higher value en damaging devel In urban settle evident that so habitats for impo affected by deve Furthermore, RI close proximity development m	ast and R on. would be t would b hvironmen lopment fr ements, come brow portant spe elopment Rhoose, B; t to the c may affec Is that ma	hoose throug realised in r be damaging it, while defile rom other rur while d sites while d sites ecies ² . These in urban area arry and Sull coastline, wh ct the coast	gh enhancement ural areas, as a to the existing, ecting potentially al areas. singly becoming are significant habitats may be	settlement developme Developme areas (Bar as a improveme In rural are of the exi adversely a The envin likely to be affect bioor resource boundaries in special	and the ent rather ent may re ry for exar catalyst ents. eas, this wo sting envir affected. onment su e adversely diversity, li use and l s. A numbe landscape	refore encour than use of sult in the regen pple) as new d for general uld be negative prounding rural affected as d andscape, soil neritage outside of rural settlem	age brownfield greenfield sites. neration of built evelopment acts environmental due to the value II potentially be settlements is evelopment may function, water e of settlement ients are located aracter of which	centres regenera due to th potential Negative rural are adverse Although preferen rural Val	to the sou attion. In ru ne value o ly be adve e effects w eas, and impacts n this co tial select	th east through ural areas, this w of the existing en ersely affected. yould be realised more so due of the new ould be reduction ion of brown fiel	sed in the urbar enhancement and would be negative vironment that wi in more sensitive to the potentially rural settlement rural settlement id sites within the ttlement.

10. To provide a high quality environment within all new developments.

Performance	++	++	0	М	+	+	0	М	+	++	0	М
Commentary	to the south can provide would be settlement	n east and Rh e high quality realised in r	loose where r design. Majo ural areas, a he opportunit	new development or positive effects as a single new	designed quality, access spirit. Tl	I from the ou sustainable m etc and can p his will apply	itset in order naterials, use promote a pos	to include high of open space, itive community Athan and other	well-design quality, su access etc spirit. This	ned from Istainable c and ca s will ap	the outset in o e materials, u an promote a	e opportunity to be rder to include high se of open space, positive community it Athan and other south east.

² Guideline for the Selection of Wildlife Sites in South Wales, August 2004, South Wales Local Authorities and Wildlife Trusts.

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LDP Strategy Options SA Objectives	Maximis concent Dinas P (current develop	sing the p trating gro owys, Su UDP stra ing a new	lly and Rho ategy) as w v rural settl	and ry, Penarth, pose vell as	Conce opport South area to opport settlem further develo	ntrate de unities ir East Zor b be a ke unity. Ot nents to	2b and Op evelopmer n Barry and ne. The St y develop her sustai accommo accommo and asso ased on a est.	nt d the .Athan ment nable date ciated	Option 8 (Op Concentrate opportunitie South East area to be a opportunity. settlements settlement) further hous development	e developm s in Barry a Zone. The key devel- Other sust (including to accomm sing and as	ent and the St.Athan opment ainable a new rural oodate
	Spatial Trans- Level of boundary Certainty				Spatial		Trans- boundary	Level of Certainty	Spatial	Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban Rural SE Vale		

11. To protect, enhance and promote the quality and character of the Vale of Glamorgan's culture and heritage.

Performance	+	+/ <mark>-</mark>	0	M	+	-	0	М	+	-	0	М
Commentary	designations Glamorgan. listed build monuments enhance am Growth will improve th environmen buildings. A opportunity cultural/histo developmer In the rural growth will cultural and the negativu any monum exception w would be p	s and prote In urban of lings, con- , which d promote. provide the he quality ts, particu Vithough ne to enhance oric enviro nt may be ir Vale, whe take place, historic en e effects of eents will a vould be th potentially of	ected monume centres, there servation are sensitive dev eopportunities / of cultura larly with req ew developme e and promote nment, there issensitive to th re it is not exq it is assumed vironment will of developmen also be protec ne new rural	nts in the Vale of are a number of as and ancient velopment could in urban areas to al and historic gards to historic nt may offer the the quality of the is the risk that ese assets. pected that much that the existing be protected from it. The setting of ted. The notable settlement which he existing, high	designation Glamorgan listed built monuments enhance ar Growth will improve t environmer buildings. <i>A</i> opportunity cultural/hist developmen There are h may be affe	s and prote In urban of dings, cons s, which d promote. provide the he quality tts, particu Although ne to enhance oric enviro nt may be in peritage feat	ected monumer centres, there servation area sensitive dev eopportunities i y of cultura larly with reg ew developmer e and promote nment, there nsensitive to th tures of value in	nts in the Vale of are a number of as and ancient elopment could in urban areas to I and historic ards to historic at may offer the the quality of the is the risk that ese assets. In rural areas that	designat Glamorg listed b monume enhance Growth to impr environn buildings opportur the cultu developr There ai that ma Developi	ions and p an. In urb uildings, whic and prom will provide ove the hents, pai a. Although ity to enh ral/historic nent may re heritage ay be a ment of y affect la	rotected monum an centres, ther conservation and ch sensitive de tote. e the opportunit quality of cult rticularly with ru- n new developm ance and prom c environment, th be insensitive to e features of va affected by n the new settle	historic buildings, nents in the Vale of e are a number of reas and ancient evelopment could ies in urban areas tural and historic egards to historic ent may offer the note the quality of here is the risk that these assets. alue in rural areas ew development. ment is likely to eritage value in its

12. To reduce the need to travel and enable the use of more sustainable modes of transport.

Performance	++ -	0	М	+	+/-	0	М	+	+	0	М
Commentary	Focusing growth ir that development is to services as we urban settlements accessible by exis particularly via the 0 However, in the rur continue to be an is limited provision of communities. Bus be poor in Abo Colwinston and settlements (as d Appraisal Draft S Development of a alleviate these prob It is likely that the V commuter zone du M4.	s located in areas as to neighbou, in the south ting national public Cardiff-Bridgend al Vale isolation o ssue, as there wor facilities and em service provision erthaw (West), Penllyn among etailed in the Li iccoping Report, new rural settle lems. /ale will continue f	with easy access uring areas. Most east are also ic transport links, ail service. f settlements may uld continue to be poloyment in rural is considered to Cog, Penmark, jst other rural DP Sustainability February 2007). ement would not	work local work and of are also transport I rail service Increased existing ru sustainable Through th communiti to continue other settle It is likely t commuter M4.	ly, therefore commute to (accessible links, particu 2. developmenti ural centres e transport m he sustainabi es that lack a e travelling lo ements. hat the Vale	reducing the in Cardiff. Most u by existing ilarly via the t of homes and could also im iodes as a cas lifty test, reside appropriate fac ng distances to will continue to	need to travel to rban settlements national public Cardiff-Bridgend facilities around prove access to cade effect. Its of rural lities may have o use facilities in to be an attractive	already public tra sustainal homes a could als modes a It is like attractive	a higher insport sh ble transp and facilita so improv s a casca ely that t	population a ould have a p ort use. Incre ates around e e access to de effect he Vale will ter zone due	nd better access f ositive effect on loca

LDP Strategy Options SA Objectives	Maximis concent Dinas F (current develop	sing the p trating gr Powys, So t UDP str ping a ne	ully and Rh rategy) as v w rural sett	f and arry, Penarth, noose well as	Conce opport South area to opport settlen further develo	entrate d unities i East Zc b be a k unity. C nents to housin	n 2b and Op levelopmen one. The S ey develop other sustation accommong and associated on a test.	nt d the t.Athan oment nable date ociated	Conc oppo South area oppo settle settle furthe	entrate rtunitie n East to be a rtunity. ments ment)	to accomn ing and as	nent and the St.Athan opment tainable a new rural nodate
	Spatial	Spatial Trans- Level of boundary Certainty					Trans- boundary	Level of Certainty	Spatia	1	Trans- boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		

Performance	+ +/-	+	М	+	+	0	М	+	+	0	М
Commentary	Development is likely employment in urban Penarth, where unemp unemployment is not a most residents are emp and some outside the limited local employn settlements. Through th continue to be affer employment opportuniti If the new rural settle contained, it is assume employment opportuniti and its surroundings. He the employment issues of Glamorgan (e.g. in Be	areas such loyment is ar key issue in oloyed outside Vale of Glam ment opport nis strategy, n cted by the es. ment is sust. ed that it wo es in the area owever, this w in much of th	as Barry and h issue. Although rural settlements, e their settlement organ. There are unities in rural rural areas would e lack of local ainable and self- uld provide local a of development yould not alleviate ie rest of the Vale	employmer Penarth, wi difficult to inappropria settlements opportunitie settlements create man Overall, al increase, t limited due	nt in urban here unempl attract sor tely sized s therefore es that c s. Developm y local jobs. Ithough job he range o	areas such loyment is an me large em employment s limiting the an be prov ent in St Atha opportunities f jobs availat	as Barry and issue. It may be ployers due to sites to smaller range of job rided in rural n is expected to are likely to ole may remain	employm Penarth, difficult inappropi settlemei opportun settlemei create m Overall, increase, limited du If the ne contained	ent in u where ur to attract itately sit- itately sit- tites that the state ants. Deve any local although the ran ue to the w rural s d, it is as ent oppor	Introduction of the second sec	ch as Barry and in issue. It may be imployers due to t sites to smaller he range of job rovided in rural han is expected to ies are likely to

14. To maintain and enhance the vitality and viability of the Vale's town, district and local centres.

		_			1					_		
Performance	++	+/-	0	М	++	++	0	М	++	+	0	М
Commentary	to the sou and invest urban ce currently Culverhou communit, together w Mixed effer new settle ensure its upon the address v	uth east and stment. The entres attract use out-of-t use Cross). y and leisu vith new house ects would be ement has p own vitality exact design	I Rhoose thro re is an oppi- ttive to loca own retail de It is assu- re facilities of sing and emplo- be realised in otential to be However, this of the develo- ms that exist in	the urban centres bugh regeneration ortunity to make il residents that evelopments (e.g. med that local will be provided byment. rural areas, as a well-designed to s largely depends opment. It will not n some of the rest	vitality an urban and There is attractive town reta is assume will be p employme An incre investmen contribute	d viability thr d rural areas. an opportu to local resid il developmer ed that local d provided toge ent. ase in popu nt in a num e positively t	ough new devo unity to make dents that curr nts (e.g. Culve community and ether with ne ulation and jo nber of local to vitality and	elopment in both e town centres ently use out-of- rhouse Cross). It d leisure facilities w housing and obs and overall centres should viability of the	enhance developr There i attractive town reta- is assum will be employn An incre- investme contribut centres, The new designed largely developr	e vitality ment in bo s an opp e to local ail develop ned that lo provided nent. ease in p ent in a te positive particularl r urual sett d to ensu d dpends ment. It wi	and viability th urban and rur portunity to ma residents that cu oments (e.g. Cuh ical community a together with n population and number of loca	y through ne al areas. ake town centri- verhouse Cross). Ind leisure facilitik new housing ar jobs and overa al centres shou nd viability of the nents. iotential to be we lity. However, the ct design of the tality problems the
15. To promote appropriate tourism.												
Performance	?	0	0	М	?	?	0	L	?	?	0	М

Performance	?	0	0	M	?	?	0	L	?	?	0	M
	The option	is unlikel	y to signific	antly affect the	Increased	developmer	nt and infra	structure could	As with	Option	5, increased	development and
	developmer	t of tour	sm in the	Vale, although	contribute	to tourist	provision ac	ross the Vale,	infrastruc	cture cou	uld contribute	e to a tourist
Commentary	increased	developme	ent and ir	nprovement of	although th	his would be ι	uncertain at th	is scale.	infrastruc	cture acros	s the interventi	on areas, although
,	associated	infrastruct	ure in urba	n [.] areas could					this woul	d be uncer	tain at this scal	e.
	contribute to	a tourist in	frastructure.									