

Vale of Glamorgan

Local Development Plan Sustainability Appraisal

Options Appraisal Report

November 2007

Report no: D004 - NE02716-NE-R07



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1 Introduction

The Vale of Glamorgan Council is currently considering the strategy options for its Local Development Plan (LDP), which will govern how land within the Vale of Glamorgan is used between 2011 and 2026.

The Council are currently undertaking the third stage of the LDP process, in which they are determining the preferred strategy option. The options currently under consideration are as follows:

- Option 1: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy).
- Option 2a: Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).
- Option 2b: Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test).
- Option 3: Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified).
- Option 4: A rural new settlement able to promote sustainable self – containment.
- Option 5: Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.

A stakeholder workshop was held in May 2007 as part of the LDP consultation process. Additional options were suggested at this workshop as follows.

- Option 6 (Combination of Options 1 and 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment
- Option 7 (Combination of Options 2b and 5): Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.
- Option 8 (Combination of Options 5 and 4): Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.

Details of this workshop are provided in *Strategic Options Stakeholder Workshop: Report of Consultation* (June 2007)¹.

¹ Available from the Council's website

http://www.valeofglamorgan.gov.uk/living_menu/planning_policy/development_plan.aspx

To ensure that the policies in the LDP promote the principles of sustainable development, a Sustainability Appraisal (SA) of the LDP, incorporating the requirements of the Strategic Environmental Assessment (SEA) Directive, is being undertaken. The LDP and the SA processes are being carried out in an iterative and integrated manner. Figure 1.1 below outlines these two processes.

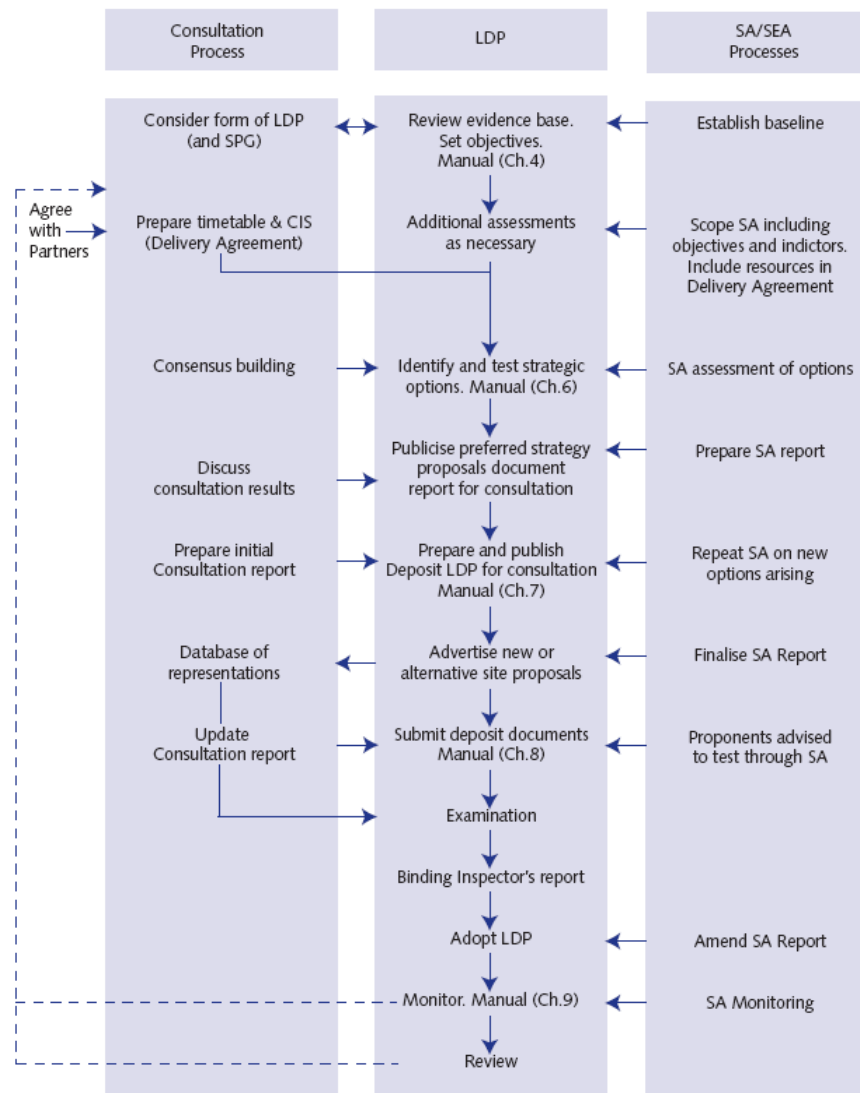


Figure 1.1: Main Stages of the LDP and SA Processes (Source: LDP Manual, June 2006)

The SA of the LDP is being carried out based on current guidance and best practice including:

- *Local Development Plan Manual*, Welsh Assembly Government, June 2006
- *A practical Guide to the SEA Directive*, ODPM, the Scottish Executive, the Welsh Assembly Government and the Northern Ireland Department of the Environment, September 2005
- *Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks*, ODPM, November 2005

The ODPM SA guidance sets out the SA stages as follows:

- Stage A: Setting the context and objectives, establishing the baseline and deciding on the scope
- Stage B: Developing and refining options and assessing effects
- Stage C: Preparing the Sustainability Appraisal Report
- Stage D: Consulting on the draft RSS revision and the SA Report
- Stage E: Monitoring the significant effects of implementing the RSS revision

To assist the Council in determining the LDP strategy, an appraisal of the options has been carried out as part of the SA process (Task B3 of Stage B). This appraisal has been based on the SA objectives developed at the scoping stage². The SA objectives were developed using baseline information and feedback from the SA stakeholder workshop held in October 2006.

This workshop highlighted that the key issues for the stakeholders in the Vale of Glamorgan include (but are not limited to):

- Transport and accessibility;
- Employment related issues;
- Housing provision, especially affordable housing;
- Increasing development pressures;
- Community cohesion;
- Waste disposal and pollution; and
- Threats to cultural and natural heritage.

Details of the findings from this workshop are provided in the *Sustainability Appraisal Stakeholder Workshop - Report of Consultation* (October 2006)³.

In carrying out the appraisal, consideration was given to comments made by consultees at the workshop held in May 2007 and baseline information collected at the scoping stage.

This report outlines the findings of the appraisal of the 9 options set out above and provides recommendations for the LDP strategy.

² *Local Development Plan Sustainability Appraisal Approved Scoping Report*, Vale of Glamorgan Council, July 2007 (<http://www.valeofglamorgan.gov.uk/living/planning>)

³ Available from the Council's website <http://www.valeofglamorgan.gov.uk/living/planning>

2 Appraisal Methodology

This section outlines how the SA Framework was used to appraise the options, the assumptions made in carrying out the appraisal as well as the limitations identified in the process.

2.1 Sustainability Appraisal Framework

The SA Framework is the fundamental component of the appraisal methodology. The SA objectives form the basis of this methodology and have been used as methodological yardsticks against which the strategy options have been appraised. The SA objectives are supported by aims which guide the appraisal of the options against the SA objectives.

The methodology used in the derivation of the SA objectives and development of the aims was developed from that outlined in the ODPM's SEA guidance. The SA objectives and aims, detailed in the *LDP SA Scoping Report* were informed by the sustainability objectives of other relevant plans and programmes that may influence, or be influenced by, the plan; as well as the key issues identified through baseline data collection and consultation. The SA objectives (in bold font) and aims used in this appraisal are as follows (these have been numbered for ease of reference and are not in any order of priority):

1. To provide the opportunity for people to meet their housing needs.

- Provide a mix of dwelling types and tenure
- Build in sustainable locations, with good access to local facilities
- Provide affordable housing
- Preference for previously developed land in sustainable locations

2. To maintain, promote and enhance the range of local facilities.

- Meet the needs of existing communities throughout the Vale of Glamorgan
- Provide appropriate facilities within new developments to meet the needs of future users
- Ensure local facilities are suitable for purpose and easily accessible
- Prevent the loss of existing well-used and valued local facilities

3. To maintain and improve access for all.

- Ensure the built and natural environment is easily accessible to all the Vale of Glamorgan's community
- Improve public perception of access
- Benefit health and well being through social inclusion within the physical environment
- Promote 'life-time' homes

4. Reduce the causes of deprivation.

- Promote improvements to: employment, income, health and well being, education, housing, environment and access, for all.
- Prevent the isolation of deprived communities.

5. To maintain, protect and enhance community spirit.

- Reduce the fear of crime
- Provide community facilities
- Encourage local distinctiveness (e.g. promote public art)
- Encourage community ownership of the environment (e.g. promote shared spaces)

6. To minimise the causes and manage the effects of climate change.

- Reduce air pollution (e.g. transport / industry emissions)
- Reduce energy consumption (e.g. promote energy efficient building)
- Promote renewable energy generation
- Promote green sinks to absorb carbon emissions (e.g. plant trees)
- Avoid development within flood plains unless mitigation can prevent harm
- Protect biodiversity, flora and fauna from the effects of climate change

7. To minimise waste.

- Promote the use of secondary resources (e.g. convert existing buildings)
- Provide and promote recycling facilities.
- Avoid landfill of waste

8. To use land effectively and efficiently.

- Retain undeveloped land
- Bring previously developed land in sustainable locations back into use
- Promote good quality high density developments where appropriate
- Protect the countryside from inappropriate development, especially good quality agricultural land and areas of high landscape value

9. To protect and enhance the built and natural environment.

- Protect or enhance natural assets such as biodiversity, flora and fauna, wildlife habitats, landscape, soil, water resources.
- Protect or enhance the built environment including historic buildings and conservation areas.
- Protect cultural heritage and archaeology.
- Enhance public access to and appreciation of the Vale of Glamorgan's environmental assets.

10. To provide a high quality environment within all new developments.

- Ensure development meets the needs of current and future users.
- Promote a sense of community pride (e.g. shared spaces, public art, local materials)
- Promote sustainable design and construction solutions.
- Enhance access for cyclists and pedestrians.
- Provide adequate green spaces.
- Provide adequate vehicular parking and manoeuvring space.

11. To protect, enhance and promote the quality and character of the Vale of Glamorgan's culture and heritage.

- Protect and enhance existing cultural heritage and historic environments
- Promote new opportunities for culture in the Vale of Glamorgan

12. To reduce the need to travel and enable the use of more sustainable modes of transport.

- Ensure new development is located in accessible locations from a range of travel modes
- Promote technologies to reduce need to travel (e.g. homeworking)
- Enable the movement of people and freight by sustainable means
- Provide effective transport infrastructure to meet the needs of the community (e.g. highways, cycleways)

13. To provide for a diverse range of local job opportunities.

- Protect existing and potential employment sites for employment uses
- Support a culture of entrepreneurship
- Ensure employment sites are promoted in accessible locations
- Support the enhancement of skills to meet employment needs
- Promote and enable sustainable rural diversification

14. To maintain and enhance the vitality and viability of the Vale of Glamorgan's town, district and local centres.

- Ensure retail centres are accessible by a range of modes of transport
- Ensure a range of uses within retail centres
- Avoid out-of-town retail development
- Enhance the public realm within existing centres and facilitate regeneration programmes
- Promote the evening economy in the Vale of Glamorgan's town centres

15. To promote appropriate tourism.

- Promote local economic growth through tourism
- Enable tourism uses to be accessed by sustainable travel modes
- Manage tourism to protect the Vale of Glamorgan’s natural and built assets
- Protect potential tourism destinations against inappropriate non-tourism development (e.g. proliferation of residential)
- Enable specialist tourism (e.g. sustainable, sports, cultural etc).

The appraisal of the options against the SA objectives was carried out using a matrix-based approach as shown in Appendix A. The matrix was developed based on ODPM guidance⁴ and has been set out to enable the comparison of the options. The matrix also ensures that spatial nature of effects is taken into consideration together with the significance of the identified effects.

The performance (direction and severity) of the options against the SA objectives is recorded in the matrix using the symbols shown below:

++	The proposed option strongly contributes to the achievement of the SA objective
+	The proposed option contributes to the achievement of the SA objective
0	There is no clear relationship between the achievement of the option and the SA objective or the relationship is negligible
-	The proposed option detracts from the achievement of the SA objective
--	The proposed option strongly detracts from the achievement of the SA objective
+/-	The proposed option both contributes and detracts from the achievement of the SA objective
?	The relationship is dependant on the way in which the aspect is managed. Sufficient information may be unavailable to enable an assessment to be made.

The commentary provided under each SA objective in the matrix sets out the reasoning behind the determined performance of the options and highlights any key issues associated with the option. Also provided in the matrix, is an indication of the levels of certainty with which the likely effects of the options have been determined. Below are the symbols used in describing certainty:

L	Certainty regarding the indicated performance of the option against the SA objective is low and further information may be needed to increase certainty.
M	Performance of the option against the SA objective has been determined with some certainty although further information would assist the appraisal.
H	The performance of the option against the SA objective has been determined with high certainty as sufficient information is available to assist the appraisal.

A description is provided below of the approach to this appraisal using the matrix.

⁴ Annex 10 of the *Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks*, ODPM, November 2005

2.2 Approach to Appraisal

Although the options have not been appraised against each individual aim, the aims have been taken into consideration in determining the performance of the options against the overall objectives and have been used to guide the appraisal. The various aspects considered while carrying out the appraisal are as follows:

- **Direction of impact:** Whether the effects are positive, negative or neutral
- **Significance:** Whether the effects would be slightly or greatly significant
- **Spatial Scale:** The locality of the effects in the Vale of Glamorgan i.e. whether they would affect the rural and/or urban areas. Any transboundary effects outside the study area were also considered.
- **Level of certainty:** The level of certainty in predicting the effects based on the information available to carry out the appraisal.

The temporal and cumulative nature of the predicted effects was explored where possible and details provided in the commentary. More detailed determination of the temporal and cumulative aspects as well as consideration of mitigation measures will be undertaken at the next stage of the SA/SEA in which more specific policies would be appraised.

This approach should therefore allow the impact to relate to the value of sustainability baseline in a particular area through assessing every option on its own merit and relating it to the baseline and issues/opportunities.

2.3 Assumptions and Limitations

In carrying out the assessment, a number of assumptions were made in relation to the strategy options. Furthermore, in some cases, there were limitations to the level of certainty with which the appraisal could be completed.

2.3.1 Assumptions

The following are the assumptions made in this assessment:

- Growth will mainly include the development of housing while local facilities will be provided through planning conditions and S106 agreements.
- Housing will meet all needs in terms of tenure, type and affordability.
- Growth can help tackle causes of deprivation (as seen in housing lead growth successes through pathfinder/housing market renewal schemes) through the provision of new decent homes and other benefits through planning gains.
- Planning policy would set minimum design standards to ensure that buildings are designed to be accessible to all.
- Planning policy would provide siting guidance to minimise effects of development on natural and historic environments.
- New developments would be designed to enhance community spirit through local distinctiveness and a reduction in the fear of crime.

- Local community and leisure facilities will be provided together with new housing and employment.

The rationale behind the determination of the performance of the options against the SA objectives, sought to relate direction of impact to the value of baseline in the Vale of Glamorgan. In adopting this approach, every option is considered on its own merit against the SA objectives and is related to the sustainability baseline as well as the key issues and opportunities.

2.3.2 Limitations

At this stage, the appraisal provides an overall indication of the potential effects of the options against the SA objectives. The level of detail that could be provided in the appraisal is limited due to the strategic nature of the options, which does not allow for assessment at a settlement level. However, the level of detail is considered sufficient for the purposes of developing the Preferred Strategy which will be appraised in greater depth and detail.

It should be noted that the appraisal of the strategy options is based on expert judgement and therefore has an element of subjectivity. However, the limitations of expert judgement have been reduced through the use of quantitative thresholds and legislative targets where possible within the assessment process.

3 SA Findings

This section summarises the findings of the appraisal of each option taking into consideration the key issues identified at the scoping stage. The key strengths and weaknesses of each option are highlighted below under the relevant headings. As Options 6 to 8 are combinations of other options, their predicted effects relate closely to their component options and therefore reference needs to be made to related options for details.

3.1 Option 1

Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhose (current UDP strategy).

This option maintains the current strategy contained within the Vale of Glamorgan Adopted Unitary Development Plan (1996-2011), which focuses development within ‘the Waterfront Strip’. This encompasses the larger coastal towns and villages of Barry, Penarth, Dinas Powys, Sully and Rhose, capitalising on their good transport links, availability of services and facilities as well as regeneration opportunities within Barry Waterfront (see Figure 3.1). This option represents the ‘business as usual’ scenario.

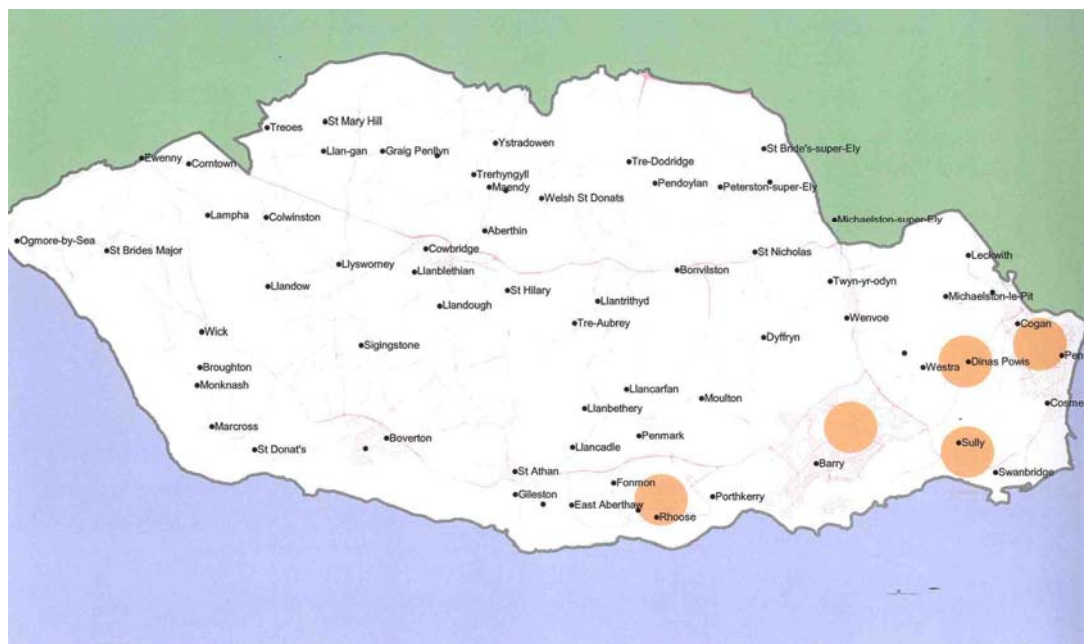


Figure 3.1: Indicative Illustration of Option 1

Key Strengths

The key strengths of this option lie in that it would assist in the achievement of the majority of the SA objectives in the urban south east of the Vale of Glamorgan. Specifically, it would be expected that this option will deliver an appropriate mix of housing in urban areas of the south east. This would assist the Vale of Glamorgan population in meeting their housing needs.

With the concentration of growth in existing urban centres, existing local facilities and the vitality and viability of these centres would be maintained and enhanced, while the causes of deprivation are reduced. Multiple deprivation is a key issue in part of the urban south east, particularly in Barry, whereas rural parts of the Vale of Glamorgan are ranked as having low levels of multiple deprivation.

A further advantage of this option would be that most development is located in areas easily accessible by existing national public transport links, particularly via the Vale of Glamorgan Railway Line. The urban south east is also well served by bus services.

Maximising potential for growth in urban centres would make use of previously developed land and vacant buildings although the availability of such land may be limited outside Barry. There are opportunities to deliver regeneration while using land effectively and efficiently.

There are increased opportunities to provide a diverse range of employment opportunities in urban areas, where there are pockets of economic inactivity. Furthermore, there is a decline in employment opportunities in some industries (e.g. construction, manufacturing and public administration) and this option presents the opportunity to address this trend in urban areas.

Key Weaknesses

It is envisaged that through this strategy, issues faced by residents in the rural parts of the Vale of Glamorgan (e.g. lack of appropriate housing, employment and local facilities, as well as issues relating to transport and accessibility) would not be sufficiently addressed. In most cases the option does not have a bearing on the delivery of SA objectives in rural parts of the Vale of Glamorgan.

3.2 Option 2a:

Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).

This option would see the distribution of housing and employment to all settlements within the Vale of Glamorgan, proportionate to the existing population of each settlement. In this scenario the level of existing services and facilities would not be considered as part of the allocation of sites, however unlike Option 1 this option would increase development opportunities for rural areas (see Figure 3.2).

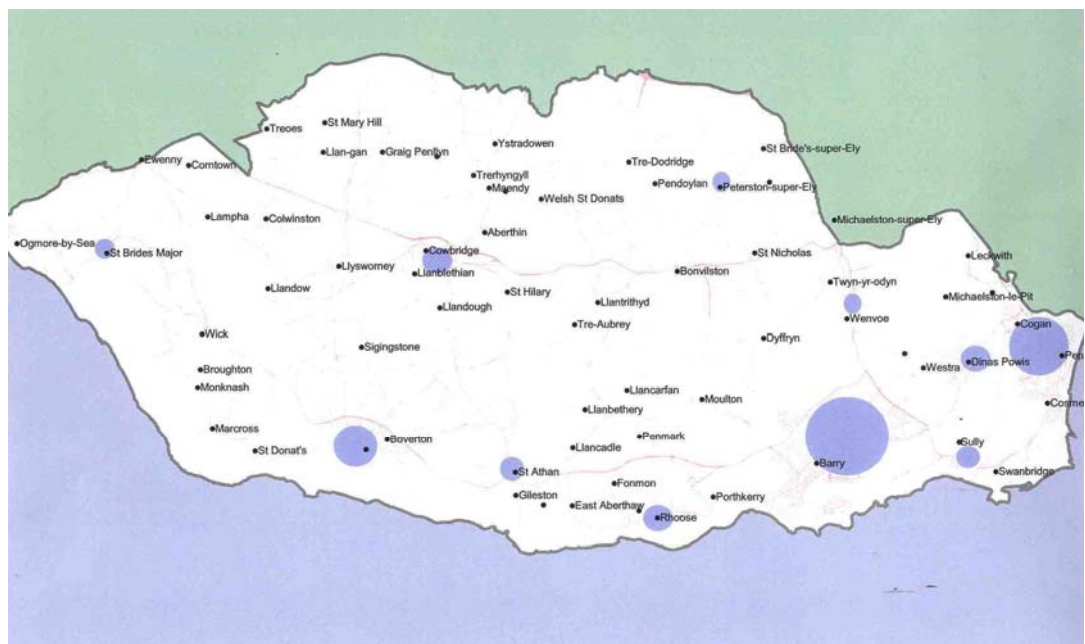


Figure 3.2: Indicative Illustration of Option 2a

Key Strengths

This option offers the opportunity to deliver benefits to both urban and rural areas. This is particularly in relation to the provision of housing and employment opportunities. It is anticipated that multiple deprivation issues, particularly in urban areas, would be addressed through this strategy.

There are opportunities to make town centres attractive to local residents that currently use out-of-town retail developments. Centres can also be made attractive to businesses therefore reducing the number of vacant units (e.g. Barry). Both these factors would assist in maintaining and enhancing the vitality and viability.

Key Weaknesses

The key issue identified with this option relates to its dependence on current population of each settlement. It should be noted that current population may not



be an appropriate indicator of the future needs of communities in these settlements. Through this approach, development may be provided where it is not necessary, cannot be sustained or supported. As a result, the specific needs of some communities may not be addressed.

It is not proposed that a sustainability test will be carried out in adopting this option. Consequently, it is likely that development would be placed in settlements that do not have sufficient facilities and services to support the new development. Furthermore, due to the dispersed nature of proposed growth, resources to ensure benefits are sufficiently delivered may be stretched, while negative effects may be spread out across the Vale of Glamorgan.

In rural areas, where brownfield land is not as readily available, there may be some loss of greenfield land and effects on the local landscape, biodiversity, soil function, water resource use and cultural heritage. It would be necessary to limit growth to within settlement boundaries to ensure protection of the surrounding countryside.

3.3 Option 2b

Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test)

As with option 2a the distribution of development would be relative to the existing population of each settlement. However an assessment of existing services and facilities as well as accessibility to nearby facilities would be undertaken (the sustainability test). In this scenario land allocated for development opportunities would only be within those settlements, which would have good levels of services, facilities and infrastructure (see Figure 3.3).

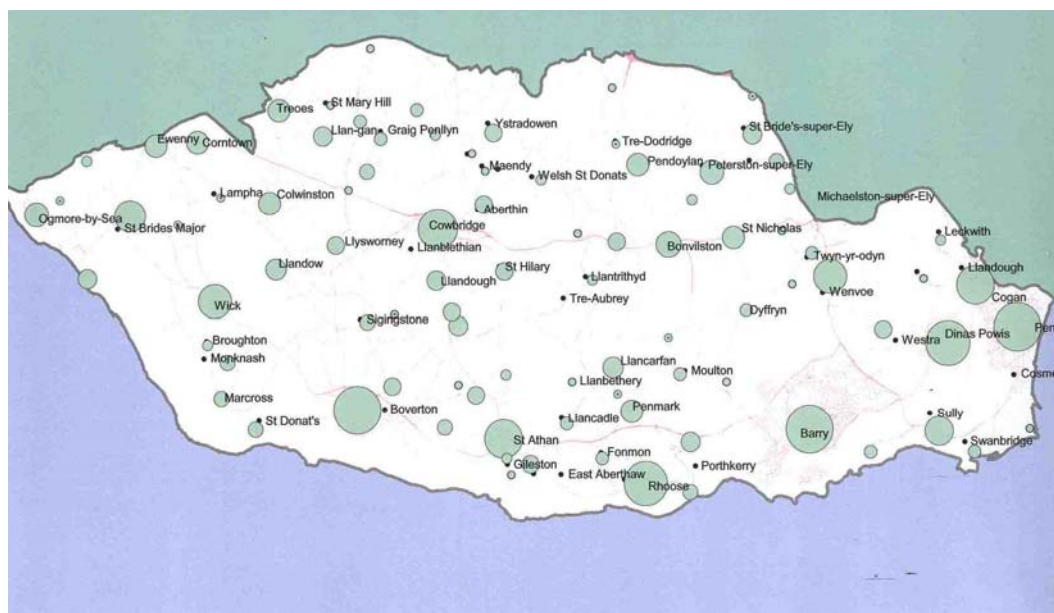


Figure 3.3: Indicative Illustration of Option 2b

Key Strengths

As with Option 2a, this strategy would spread development throughout the Vale of Glamorgan, although growth would be focused in those settlements that have sufficient provision of facilities to support development. This would be ensured through the undertaking of a sustainability test.

The approach proposed in this option is likely to ensure that facilities and services are not under-utilised where they are provided.

Key Weaknesses

It is unlikely that this option will deliver significant benefits in any of the settlements in the Vale of Glamorgan, as it is unlikely that development in any one location will be of a large enough scale to enable planning gain. The key concern with this option is that those rural centres which do not have appropriate facilities would not benefit from growth and are likely to continue to experience a lack of appropriate facilities.

3.4 Option 3

Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified)

Unlike Option 1, this option would concentrate future development within the larger rural settlements that have good levels of services, facilities and infrastructure relative to other settlements within the rural Vale (see Figure 3.4).

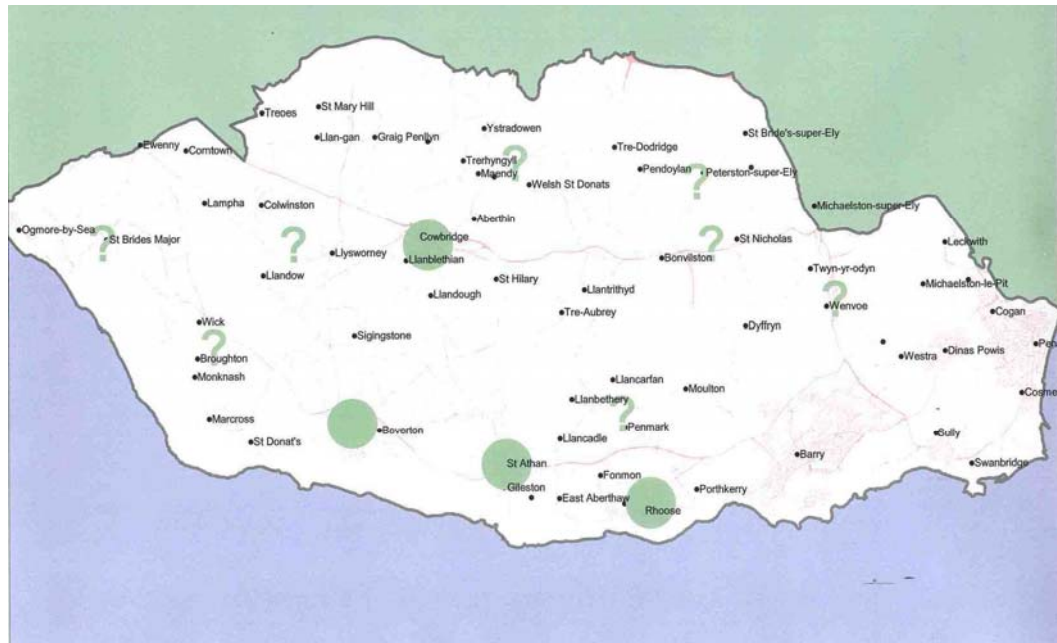


Figure 3.4: Indicative Illustration of Option 3

Key Strengths

Delivery of housing in the identified rural settlements will present an opportunity to increase provision of affordable housing in the rural part of the Vale of Glamorgan. Furthermore, the option would ensure that facilities such as schools, doctors' surgeries and retailing in these settlements remain viable and are maintained and enhanced.

The option presents an opportunity to make these town centres attractive to local residents that currently use retail facilities in larger settlements. It is assumed that local community and leisure facilities will be provided together with new housing through planning conditions.

An increase in population and jobs and overall investment in these four settlements, and potentially others, should contribute positively to their vitality and viability. Additionally, there may be an opportunity to improve bus services in these, and other rural settlements, in which bus service provision is considered to be poor (e.g. Aberthaw (West), Cog, Penmark, Colwinston and Penllyn amongst others).

Key Weaknesses

High levels of multiple deprivation are observed mainly in settlements in the urban south east (e.g. Barry). Therefore, focusing growth in these rural centres is unlikely to address deprivation issues in urban centres. In rural parts of the Vale of Glamorgan, isolation and inaccessibility are key issues and it is unlikely that this strategy would address these problems. Additionally, this strategy will focus development in those settlements that are not well served by public transport and where there is limited opportunity to improve public transport provision. Rhoose and Llantwit Major are the only settlements with rail services on the Vale of Glamorgan Railway Line.

A key sustainability objective is to ensure that land is used effectively and efficiently, particularly in relation to the use of previously developed land. The availability of previously developed land is low in the identified centres and therefore, it is likely that most of the new development will be located on greenfield land outside settlement boundaries.

The environment surrounding these rural settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage outside of settlement boundaries. Furthermore, a number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development.

As well as affecting the natural environment, it is likely that there will be implications on the cultural heritage environment. There are a large number of historic buildings, designations and protected monuments in the rural Vale that may be affected by development in these settlements. In particular there are significant numbers of listed buildings in Llantwit Major and Cowbridge. However, planning policy can ensure that new development enhances and promotes the quality of the cultural/historic environment.

3.5 Option 4

A rural new settlement able to promote sustainable self containment

This option would propose that the majority of new development would be concentrated in one area to create a new settlement. In order to ensure that the settlement would support a sustainable population, a range of services and facilities, as well as good infrastructure would form part of the new settlement (see Figure 3.5).



Figure 3.5: Indicative Illustration of Option 4

Key Strengths

The development of a new rural settlement, is likely to deliver overall benefit (e.g. in the provision of housing, local facilities and services) to part of the rural areas of the Vale of Glamorgan. This will depend on its location and any benefit will be realised by those settlements located nearby.

Key Weaknesses

Overall, if the development of a new rural settlement is the focus of the LDP strategy, it is unlikely that other issues that need to be addressed throughout the Vale of Glamorgan would be sufficiently addressed.

The option would be expected to have significant negative environmental effects, although the extent of these would be dependent upon the location of the new settlement. Development is likely to adversely affect biodiversity, landscape, soil function, water resource use and heritage in the location of the new settlement,

although the extent of these effects can be determined and mitigated through an environmental assessment.

3.6 Option 5

Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.

This option draws upon elements of Options 1 and 2b, which seek to locate future development within those settlements that have good levels of services and facilities, and transport links. However, this option also recognises the need to consider the potential development opportunities arising from the proposed Defence Training Academy at St. Athan (see Figure 3.6).

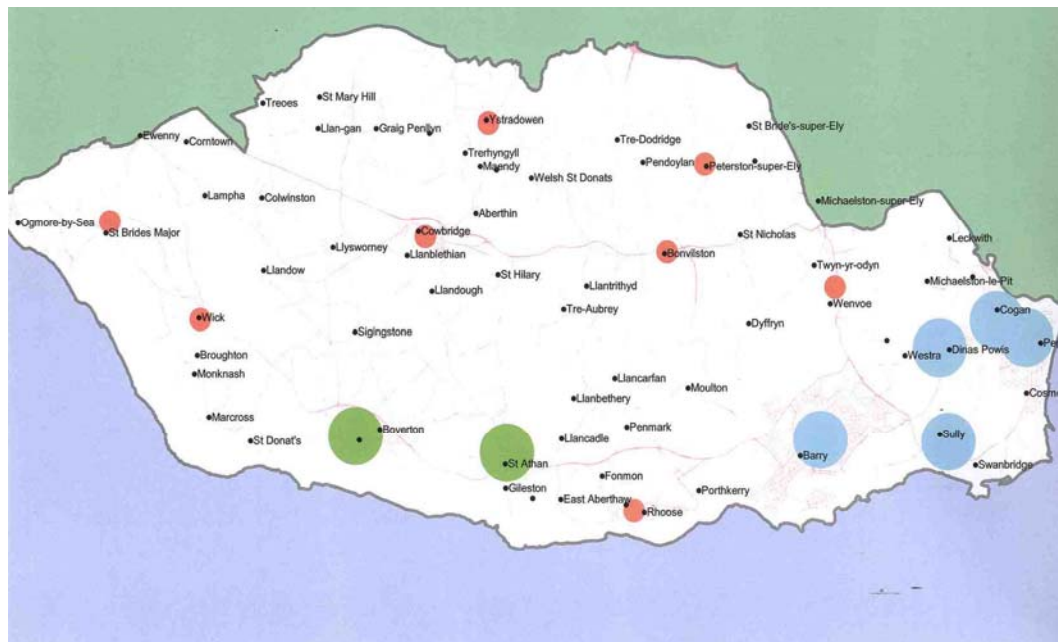


Figure 3.6: Indicative Illustration of Option 5

Key Strengths

The key advantage of this strategy would be in its delivery of benefits to both urban and rural parts of the Vale of Glamorgan.

With this approach, housing allocation would not be spread too thinly across the Vale of Glamorgan. Delivery of 5000 housing units (excluding units to be delivered through windfall applications) would be focused on the identified settlements. Furthermore, local community facilities would be maintained and enhanced. New facilities may also be provided through planning conditions.

As development would be mainly focused in existing urban areas, there is high potential for previously developed land to be utilised, where it is available. It

should be noted that in the rural settlements development in greenfield land may occur depending upon the availability of land for development within settlement boundaries. It is expected that major development (both housing and employment) at St Athan would use largely previously developed land.

The option presents the opportunity to encourage good quality high-density developments in both urban and rural areas. There is also an opportunity to bring about regeneration particularly in the urban centres, including the enhancement and protection of historic buildings..

Key Weaknesses

The natural environment in and around the settlements identified in this option is likely to be adversely affected, as development may affect biodiversity, landscape, soil function, water resource use and heritage. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development.

Furthermore, Rhoose, Barry and Sully are located in proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline as well as the candidate Severn Estuary SAC. Dinas Powys and Rhoose are surrounded by green wedge. Development may need to occur in this area of greenfield land as there is no significant availability of brownfield land in Dinas Powys. Potential effects on these environmental designations can be mitigated through policy that protects these areas.

3.7 Option 6

Combination of Option 1 and Option 4: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.

Key Strengths

The delivery of housing in urban centres will ensure that development occurs where appropriate facilities are available. Barry and Penarth already have well established local facilities, with additional services being developed as part of the regeneration effort. However, mixed effects would be realised in rural areas, with benefits for the new settlement and the surrounding area, although existing rural access to facilities issues would not be addressed elsewhere.

Positive effects on tackling the causes of deprivation are expected to be realised in the urban centres to the south east and Rhoose in which multiple deprivation is a key issue. Multiple deprivation is not a key issue for the rural parts of the Vale of Glamorgan, although isolation and access to services are areas of concern.

Key Weaknesses

The key weakness in this option relates to its limited delivery of benefits to urban parts of the Vale of Glamorgan. Although it would be expected that the new settlement would assist the achievement of some of the sustainability objectives in rural parts of the Vale of Glamorgan, this would be limited to those settlements in proximity to the location of the new settlement.

3.8 Option 7

Combination of Option 2b and Option 5: Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.

Key Strengths

This option has the potential to deliver benefits to both rural and urban parts of the Vale of Glamorgan, in settlements with the capacity to accommodate new development. The use of a sustainability test in identifying smaller settlements in which to focus development will ensure that the community facilities (e.g. health care, retail and leisure facilities) remain viable and are not under-utilised.

Key Weaknesses

Potential adverse effects identified relate particularly to impacts of development on nature conservation and landscape designations. However these designations can be protected by policies developed under this option.

3.9 Option 8

Combination of Option 5 and Option 4: Concentrate development opportunities in Barry and the South East Zone. The St. Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.

Key Strengths

This option identifies both rural and urban settlements in which development opportunities would be concentrated. With this approach, issues facing both rural settlements (e.g. lack of local facilities) and urban areas (e.g. elevated levels of multiple deprivation) are likely to be addressed.

Key Weaknesses

A key concern with this option is that the number of housing units delivered outside Barry would be reduced, as a significant proportion would be developed in the new settlement. As a result the overall benefits that may be delivered in the identified settlements would be limited.

3.10 Issues relating to all options

In carrying out the appraisal of the nine options, issues were identified that apply to all proposed strategies as highlighted below. It will be essential that the Preferred Strategy takes these matters into account.

- Considering the scale of proposed development, it is unlikely that any of the options would significantly affect community spirit in existing communities.
- Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings.
- Parts of Sully, Dinas Powys, Barry, Llandow and Pendoylan, amongst others, are at risk of fluvial flooding. Additionally development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmores-by-Sea, Aberthaw and Barry. It would be necessary to develop policy that ensures that development is located in areas that are not at risk of flooding.
- The amount of proposed development is the same for all options and therefore the increase in the levels of waste generated will be the same. The levels of waste going to landfill are governed by the South East Wales Regional Waste Plan and the Landfill Directive limits. New development would need to have consideration of location of waste facilities.
- Delivery of employment opportunities is likely to be limited by the availability of employment land, based on the *Employment Land and Premises Study*.

4 Summary and Recommendations

It is essential that the option decided upon is one that addresses the key issues identified at the scoping stage. This section summarises the findings of the appraisal and provides an indication of the option/s that best address the key issues.

Overall, the appraisal highlighted that the options would have similar effects in terms of the environmental impacts as demonstrated by the matrix. The main differences relate to the delivery of socio-economic benefits throughout the Vale of Glamorgan and the areas in which effects will occur.

Option 1 would deliver benefits (including housing, local facilities and job opportunities) in urban areas alone, while Options 3 and 4 would deliver similar benefits only to rural settlements. All the other options would deliver some benefit throughout the Vale of Glamorgan. However, Options 2a and 2b would lead to growth that is highly dispersed and not focused, therefore putting a strain on resources. Furthermore, although Option 6 would deliver benefits to both rural and urban parts of the Vale of Glamorgan, benefits in the rural parts would be limited to the new rural settlement.

It is essential that the Preferred Strategy delivers benefits where they are most needed in both urban and rural settlements. The options that are likely to do so are Options 5, 7 and 8. It should be noted, however, that the benefits of Option 8 would be limited, as the majority of development may be focused on the new settlement.

The key strengths of Options 5, 7 and 8 include the following:

- delivery of benefits in both urban and rural areas;
- potential for use of previously developed land, where it is available, in urban areas;
- a balanced spread of growth contributing to tackling the causes of deprivation proportionally to settlement size;
- provision of development in key settlements thereby reducing the need to travel for local services; and
- maintaining and enhancing vitality and viability of key urban and rural settlements

It will be essential, however, that the following are taken into consideration in developing any of the three options to ensure that any potential negative effects are mitigated:

- new development would need to be limited to within settlement boundaries wherever possible (with the exception of the new rural settlement);
- there is a potential that new land uses may conflict with agricultural uses in rural areas;



- design guidance would be necessary to ensure that the cultural heritage and the built environment are protected and enhanced; and
- housing delivery would need to be accompanied by the provision of appropriate facilities.

5 What Next

The appraisal of the strategy options has highlighted a number of sustainability issues relating to the proposed options. The findings and recommendations of this appraisal will be taken into consideration by the Council in determining the preferred strategy.

The Council has commissioned a number of studies e.g. Local Housing Market Assessment and Employment Needs Study, to assist in determining the preferred strategy. These studies will be used by the Council together with the findings of the appraisal in developing the LDP strategy.

The preferred LDP strategy will be set out in the Preferred Strategy Report which will be issued for formal consultation early in 2008.

Notation

Performance	
++	Option is highly likely to assist the Sustainability Objective
+	Option is likely to assist the Sustainability Objective
0	Option is likely to have no effect on the Sustainability Objective
-	Option is likely to conflict with the Sustainability Objective
--	Option is highly likely to conflict with the Sustainability Objective
+/-	Option is likely to assist and conflict with the Sustainability Objectives
?	The effect of the Option on the Sustainability Objective is unclear
Levels of Certainty	
L	Certainty regarding the indicated performance of the Option against the SA Objective is low and further information may be needed to increase certainty..
M	Performance has been determined with some certainty although further information would assist the appraisal
H	The performance of the Option against the SA Objective has been determined with high certainty as sufficient information is available to assist the appraisal

Vale of Glamorgan LDP Strategy Options - Appraisal Matrix (Options 1 to 5)

LDP Strategy Options	Option1: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy).				Option 2a: Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).			Option 2b: Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test).			Option 3: Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified).			Option 4: A rural new settlement able to promote sustainable self – containment.			Option 5: Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.								
	SA Objectives		Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty					
	Urban SE	Rural Vale				Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale						
1. To provide the opportunity for people to meet their housing needs.																									
Performance		++	-	0	M	+	?	0	L	++	++	0	L	0	+	0	M	-	+	0	M	++	+	0	M
Commentary		This option has potential to address housing requirements, including that of affordable housing, in urban areas but not the rural Vale. It builds on the existing strategy that has brought about delivery of housing along the Barry Waterfront, in Penarth Haven and Rhoose Point. Although not strategically identified for growth, rural settlements such as Cowbridge and Llantwit Major would still benefit from development delivered through windfall applications. It is assumed that an appropriate mix of housing will be provided as growth continues. It should be noted that with the current UDP strategy, there has been a decline in the availability of affordable housing throughout the Vale of Glamorgan as evidenced in the baseline data obtained. It is expected that by focusing growth in areas such as Barry, housing will be provided that is within easy access of facilities and use will be made of available previously developed land.				Although the option is likely to address housing issues throughout the Vale of Glamorgan, it is unlikely that development of housing will be directed to the areas in which it is required. Current settlement population alone does not give an accurate indication of future housing need. Without a sustainability test, housing may be provided in settlements that do not have sufficient facilities available to support the new development. The housing allocation for the Vale of Glamorgan is 7500 units. It is envisaged that Barry and St. Athan will be key settlements. It is uncertain whether the level of housing provision will address the lack of affordable housing particularly in rural settlements.			It is likely that this option will promote the delivery of appropriate housing in settlements that have the appropriate facilities to support the increase in population. Some settlements, particularly those in the rural part of the Vale of Glamorgan, in need of housing, but without sufficient facilities to support additional housing may be excluded when settlements are identified for development. As with option 2a, it is uncertain whether the level of housing provision would address the lack of affordable housing particularly in rural settlements.			It is assumed that growth will include housing development. This option would address the lack of affordable and appropriate housing in the rural settlements identified. However, it is not likely that housing issues in urban areas (other than Barry) would be addressed.			Although housing would be provided in the new settlement, the option would not address the needs in other rural or urban areas. It is unlikely that there will be many opportunities to develop brownfield land. It is unlikely that the new settlement would provide all required housing. However this Option has potential to help meet the housing need around the Vale through windfall development, depending on the distribution of the sites across the Vale.			It is assumed that development would provide for housing needs in centres across the whole Vale, in both existing urban centres and for rural needs. With this approach, housing allocation would not be spread too thinly across the Vale of Glamorgan.							
2. To maintain, promote and enhance the range of local facilities.																									
Performance		+	-	0	M	?	?	0	L	?	?	0	L	0	+	0	M	0	+	0	M	+	+	0	M
Commentary		It is assumed that growth will include the development of local facilities where there is a need. This option will lead to increased provision of facilities in urban areas where local communities are likely to use them. Furthermore, the delivery of housing in urban centres will ensure that development occurs where appropriate facilities are available. As part of the Barry Waterfront regeneration scheme Barry and Penarth already have well established local facilities, with additional services being developed as part of the regeneration effort. However, rural areas will not benefit through this option. There is also a significant need for increased provision of facilities in the rural Vale. The WIMD (Geographical access to services) indicates that services are less accessible in rural parts of the Vale of Glamorgan than in urban areas.				This option will deliver housing without consideration of availability of supporting facilities. It is, therefore, likely that development will occur in settlements that do not have the facilities to meet the needs of the local population. There would however, be scope for the Vale of Glamorgan Council to set policies outlining planning obligations for new housing developments to enhance facilities in these areas. The use of current population figures rather than population forecasts do not give the best indication for future housing need. In those settlements that have a good range of local facilities (e.g. Barry and Penarth), new development may ensure that these are maintained and well-used. However, it may be considered that due to the dispersed nature of development under this strategy, pressure on existing facilities may not increase significantly in small, rural settlements.			The option will ensure that the range of facilities in those settlements, in which development occurs, will be maintained, enhanced and promoted. However, as the delivery of this strategy will be determined by the sustainability test, it is likely that settlements with a lack of facilities (particularly in rural part of the Vale of Glamorgan) may be excluded and may continue to experience a shortage of facilities.			This option would ensure that facilities in the four villages identified remain viable, for example schools, doctors surgeries shopping facilities, thereby reducing the need to travel to nearby settlements for such facilities. It is assumed that growth will include delivery of appropriate, additional local facilities in these settlements. Although additional facilities are less likely to be developed in other rural settlements, they would benefit from those provided in the identified settlements. However, settlements outside the 'catchment area' of these four towns (e.g. Ogmores-by-Sea to the far west, St Bride's-super-Ely to the north) would not benefit significantly.			The option will only affect areas close to the chosen location and will not address issues of wider access to facilities throughout the Vale of Glamorgan. It is assumed that the facilities in the new development would be accessible and fit-for-purpose for their catchment. The option may result in the under use of similar facilities in surrounding areas. Alternatively if facilities within the new development are insufficient other centres in close proximity to the new development could experience pressure on their existing facilities e.g. St. Athan.			It is assumed that development will include the provision of local facilities. This will proportionally benefit Barry, St Athan and settlements in the South East and help to address issues of poor access to facilities in rural areas. It will be essential to ensure that there is sufficient service capacity to cope with increases in populations, for example in St Athan and Llantwit Major.							
3. To maintain and improve access for all.																									
Performance		?	-	?	L	?	?	0	L	?	?	0	L	0	?	0	L	0	+	0	L	+	+	0	M
Commentary		Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations. However under this option, these benefits may not be realised in rural areas. Positive effects would be realised in the urban centres to the south east and Rhoose in terms of access to the built environment.				Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations.			Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. Growth in settlements across the Vale of Glamorgan in both urban and rural areas will ensure that a greater proportion of the population have improved access to facilities and specific buildings. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations.			Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations.			Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. It is expected that the option will only affect access to the built and natural environment for the population in the new settlement and will not address access issues elsewhere in the Vale of Glamorgan, in particular rural areas. However access in the new settlement will be high.			The increased spread of population around the Vale of Glamorgan should help to improve access to facilities, decrease isolation and ensure that a greater proportion of the population have access improved to facilities and specific buildings. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations. Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all.							

LDP Strategy Options	Option1: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy).			Option 2a: Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).			Option 2b: Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test).			Option 3: Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified).			Option 4: A rural new settlement able to promote sustainable self – containment.			Option 5: Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.								
	SA Objectives			Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty						
	Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale							
4. Reduce the causes of deprivation.																								
Performance	+	0	0	M	+	+	0	M	+	-	0	L	-	0	0	M	-	0	0	M	+	+	0	M
Commentary	High levels of multiple deprivation are observed mainly in and around Barry as detailed in the Welsh Index of Multiple Deprivation. The option therefore presents an opportunity to address deprivation through regeneration in Barry and other settlements. Multiple deprivation is not a key issue for the rural Vale, although isolation and access to services are areas of concern.			Areas with relatively high levels of multiple deprivation are mainly concentrated in and around Barry. Provision of housing and employment opportunities will be focused on larger urban settlements including Barry, presenting the opportunity to reduce the causes of deprivation. The introduction of new housing offers the opportunity to enhance facilities through planning conditions and S106 agreements.			The sustainability test will identify those settlements with sufficient, appropriate facilities including health services, leisure facilities, schools etc. to support development. The option may therefore result in the exclusion of those settlements (particularly rural ones) in which access to services (a WIMD domain) is an issue. However, some of those settlements with high levels of multiple deprivation may be identified for development and, therefore, it would be expected that these deprivation issues would be addressed. The level to which deprivation is addressed in these areas is dependent upon the type and level of development allocated to the various locations.			High levels of multiple deprivation are observed mainly in and around Barry, while this is not a key issue for the rural Vale. However, isolation and access to services are areas of some concern. Therefore, focusing growth in the rural centres is unlikely to address the issue in Barry and other urban centres.			A single new settlement will not address deprivation and isolation issues throughout much of the Vale of Glamorgan, especially in urban areas where problems exist.			A balanced spread of growth should increase the number of homes thereby, contributing to tackling the causes of deprivation proportionally to settlement size.								
5. To maintain, protect and enhance community spirit.																								
Performance	+	0	0	L	+	+	0	L	+	+	0	L	0	-	0	M	0	+	0	M	+	+	0	L
Commentary	Development presents an opportunity to promote distinctiveness, reduce the fear of crime and provide community facilities to enhance community spirit. As this option focuses development in urban settlements, benefits will be realised mainly in urban areas and not in rural communities.			It would be expected that new developments would be designed to enhance community spirit through local distinctiveness and a reduction in the fear of crime.			It would be expected that new developments would be designed to enhance community spirit through local distinctiveness and a reduction in the fear of crime.			Growth in these settlements may contribute to community spirit through an increase in development of facilities and good design. The option offers the opportunity to enhance local distinctiveness and reduce the fear of crime in these rural settlements.			A new settlement has the potential to be well designed in order to reduce crime, provide facilities and encourage local distinctiveness and community ownership. However, this would only apply to the local area and have no benefits to other areas.			Growth in these intervention areas may contribute to community spirit through an increase in development of facilities, good design and a reduction in the fear of crime where this is an issue.								
6. To minimise the causes and manage the effects of climate change.																								
Performance	+	0	0	L	+	-	0	M	+	0	0	M	0	+	0	M	0	-	0	M	+	+	0	M
Commentary	Provision of housing and employment in urban centres across the Vale of Glamorgan may reduce the need to travel and hence reduce greenhouse gas emissions from transport. The option offers some protection of green sinks. Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings. Depending on exact location and design of development, flood plains may or may not be affected. Development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmores-by-Sea, Aberthaw, Barry and Penarth. Furthermore, parts of Sully, Dinas Powys and Barry, are at risk of fluvial flooding.			Provision of housing and employment across the Vale of Glamorgan may reduce the need to travel and hence reduce greenhouse gas emissions from transport. Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings. Issues relating to development in floodplains and effects on green sinks will be dependent upon specific location of development. Additionally development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmores-by-Sea, Aberthaw, Barry and Penarth. Parts of Sully, Dinas Powys, Barry, Llandow and Pendoylan amongst others are also at risk of fluvial flooding.			Provision of housing and employment across the Vale of Glamorgan may reduce the need to travel and hence reduce greenhouse gas emissions from transport. Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings. Issues relating to development in floodplains and effects on green sinks will be dependent upon specific location of development although it should be noted that parts of Sully, Dinas Powys, Barry, Llandow and Pendoylan amongst others, are at risk of fluvial flooding. Additionally development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmores-by-Sea, Aberthaw, Barry and Penarth.			Provision of housing and employment in these rural towns may reduce the need to travel and hence reduce greenhouse gas emissions from transport. Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings. Issues relating to development in floodplains and effects on green sinks will be dependent upon specific location of development. Additionally development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmores-by-Sea, and Aberthaw.			The option would increase greenhouse gas emissions and energy use as well as reduce green sink coverage in a rural location. It would also increase car use to and from the new settlement and energy use in the development. The impact upon floodplains would depend upon the exact location of development. Additionally, if located in coastal areas, particularly in the low lying estuarine areas around Ogmores-by-Sea, Aberthaw, Barry and Penarth, the new settlement may be affected by future sea level rise.			The option promotes more development in the urban areas already served by public transport. Nonetheless, other issues such as increased energy use as a result of increased development, destruction of green sinks, building on floodplains etc. can negatively affect this objective. Parts of Sully, Dinas Powys, Barry, Llandow and Pendoylan amongst others are at risk of fluvial flooding. Additionally development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmores-by-Sea, Aberthaw, Barry and Penarth.								
7. To minimise waste.																								
Performance	0	0	0	M	0	0	?	M	0	0	?	M	0	0	?	M	0	0	?	M	0	0	?	M
Commentary	The amount of proposed development is the same for all options and therefore the increase in the levels of waste generated will be the same. The South East Wales Regional Waste Plan and the Landfill Directive limits govern the levels of waste going to landfill. Development could result in the reuse of disused buildings in these urban areas, reducing waste construction material. New development would need to have consideration of location of waste facilities.																							

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	SA Objectives		Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		

8. To use land effectively and efficiently.

Performance	+	+	0	M	+	?	0	M	+	?	0	M	-	-	0	M	-	-	0	M	+	?	0	M
Commentary	The option presents an opportunity to develop good quality high-density developments. This option offers some protection of the countryside from inappropriate development by focussing development in urban settlements that have brownfield sites and vacant buildings available. Barry in particular has significant amounts of brownfield land that can be re-developed. There is the potential however, that development may occur on edge of town, greenfield land as the availability of brownfield reduces.				There is the opportunity to redevelop brownfield sites in urban areas, particularly Barry. Development in rural settlements would need to be within existing built up areas wherever possible to ensure that the countryside is protected from inappropriate development. However, this will depend upon the availability of land for development within settlement boundaries. The option presents the opportunity to encourage good quality high-density developments in both urban and rural areas.				There is the opportunity to redevelop brownfield sites in urban areas, particularly Barry. Development in rural settlements would need to be within existing built up areas wherever possible to ensure that the countryside is protected from inappropriate development. However, this will depend upon the availability of land for development within settlement boundaries. The option also presents the opportunity to encourage good quality high-density developments in both urban and rural areas.				There may not be large areas of previously developed land available in some of these rural settlements (with the exception of St Athan). As a result, it is likely that most of the new development will be located on greenfield land outside settlement boundaries. Efficient use of land can be achieved through good quality high-density development.				A new rural settlement is likely to be on largely greenfield land and would have an adverse effect on the countryside and landscape. There is the opportunity for the development to be good quality and high density.				As development is mainly focused in existing urban areas, there is high potential for previously developed land to be used, particularly in Barry. In the rural settlements development in greenfield land may occur depending upon the availability of land for development within settlement boundaries. It is expected that major development (both housing and employment) at St Athan and Barry would use largely previously developed land. Development in rural settlements would need to be within existing built up areas wherever possible, to ensure that the countryside is protected from inappropriate development. The option also presents the opportunity to encourage good quality high-density developments in both urban and rural areas.			

9. To protect and enhance the built and natural environment.

Performance	+	+	0	L	+	?	0	M	+	?	0	M	0	?	0	M	0	?	0	M	+	-	0	M
Commentary	In urban areas, development may either positively or negatively affect the built environment; this is dependent upon design at project levels. It is assumed that planning policy would set out minimum design standards. The option would limit development in rural areas therefore providing some protection to the countryside from inappropriate development. It is increasingly becoming evident that some brownfield sites are significant habitats for important species ¹ . These habitats may be affected by development in urban areas, particularly in Barry. Furthermore, Rhoose, Barry and Sully are located in proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline as well as the candidate Severn Estuary SAC.				Protection of the natural environment is dependant on ensuring that development is focussed within settlement boundaries. Development/growth offers the opportunity to improve or enhance the quality of the built environment through regeneration and the integration of development within surrounding uses. It is assumed that planning policy would set out minimum design standards. The natural environment in and around settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development. Furthermore, Rhoose, Barry and Sully are located in proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline as well as the candidate Severn Estuary SAC.				Protection of the natural environment is dependant on ensuring that development is focussed within settlement boundaries. Development/growth offers the opportunity to improve or enhance the quality of the built environment through regeneration and the integration of development within surrounding uses. The natural environment in and around settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development. Furthermore, Rhoose, Barry and Sully are located in proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline as well as the candidate Severn Estuary SAC.				The environment surrounding these rural settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development. In general growth through sensitive development would be expected to enhance the quality of the built environment in these settlements.				The development is likely to adversely affect biodiversity, landscape, soil function, water resource use and heritage in the location of the new settlement. The level of impact would depend on the location of the new settlement.				The option is likely to have positive effects, particularly in urban areas, as development can bring physical regeneration to areas in need of improvement as long as it is properly integrated. The natural environment in and around these settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development. Furthermore, Rhoose, Barry and Sully are located in proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline as well as the candidate Severn Estuary SAC.			

10. To provide a high quality environment within all new developments.

Performance	+	0	0	L	+	+	0	M	++	+	0	M	0	+	0	M	0	+	0	M	+	+	0	M
Commentary	The extent to which this strategy will achieve this objective is dependent upon how development is carried out at project level. It is assumed that planning policy would set out minimum design standards. Development may result in the regeneration of areas such as Barry and the integration of new development may act as a catalyst for overall environmental improvements.				The extent to which this strategy will achieve this objective is dependent upon how development is carried out at project level. It is assumed that planning policy would set out minimum design standards. Development may result in the regeneration of areas such as Barry and the integration of new development may act as a catalyst for overall environmental improvements.				The extent to which this strategy will achieve this objective is dependent upon how development is carried out at project level. It is assumed that planning policy would set out minimum design standards. Development may result in the regeneration of areas such as Barry and the improvement of the existing built environment throughout the Vale of Glamorgan				The extent to which this strategy will achieve this objective is dependent upon how development is carried out at project level. It is assumed that planning policy would set out minimum design standards. Development may result in the improvement of the existing built environment in these rural settlements and the integration of new development may act as a catalyst for overall environmental improvements.				Development of the new settlement may be well-designed from the outset in order to include high quality, sustainable materials, use of open space, access etc. and can promote a positive community spirit. The development of the new settlement in this manner could set precedence for development elsewhere in the Vale of Glamorgan, particularly through windfall planning applications.				There is the opportunity to ensure that new development is well-designed from the outset in order to include high quality, sustainable materials, use of open space, access etc and can promote a positive community spirit. This will apply to all intervention areas spread across the Vale of Glamorgan.			

¹ Guideline for the Selection of Wildlife Sites in South Wales, August 2004, South Wales Local Authorities and Wildlife Trusts.

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	SA Objectives			Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty
	Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale		Urban SE	Rural Vale	

11. To protect, enhance and promote the quality and character of the Vale of Glamorgan’s culture and heritage.

Performance																			
Commentary	<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote. Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets. In the rural Vale, where it is not expected that much growth will take place, it is assumed that the existing cultural and historic environment will be protected from the negative effects of development. The setting of any monuments will also be protected.</p>			<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote. Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets. There are heritage features of value in rural areas that may be affected by new development.</p>			<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote. Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets. There are heritage features of value in rural areas that may be affected by new development.</p>			<p>There are a large number of historic buildings, designations and protected monuments in the rural Vale that may be affected by development in these settlements. In particular there are significant numbers of listed buildings in Llantwit Major and Cowbridge. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets. There are heritage features of value in rural areas that may be affected by new development.</p>			<p>The development is likely to adversely affect landscape and heritage value in its immediate area. However, it would deflect development from, and therefore offer some protection to, remaining rural areas from development pressure.</p>			<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote. Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets. There are heritage features of value in rural areas that may be affected by new development.</p>			

12. To reduce the need to travel and enable the use of more sustainable modes of transport.

Performance																		
Commentary	<p>Focusing growth in the urban south east will ensure that development is located in areas with easy access to services as well as to neighbouring areas. Most urban settlements in the south east are also accessible by existing national public transport links, particularly via the Cardiff-Bridgend rail service. However, in the rural Vale isolation of settlements may continue to be an issue, as there would continue to be limited provision of facilities and employment in rural communities. Bus service provision is considered to be poor in Aberthaw (West), Cog, Penmark, Colwinston and Penllyn amongst other rural settlements (as detailed in the LDP Sustainability Appraisal Draft Scoping Report, February 2007).</p>			<p>Development in the main urban centres such as Barry and Penarth may reduce the need to travel by car and result in the use of more sustainable forms of transport. Most urban settlements are accessible by existing national public transport links, particularly via the Cardiff-Bridgend rail service. It would be anticipated that the provision of housing and employment in rural settlements would attract local investment and therefore encourage residents to work locally. However, there is the potential for the majority of residents to work away as the jobs they require are unlikely to be provided within the local area (as detailed in the LDP Sustainability Appraisal Draft Scoping Report, February 2007). In larger centres, however, it may be possible to provide appropriate employment and thereby reduce commuting.</p>			<p>Development in the main urban centres such as Barry and Penarth may reduce the need to travel and result in the use of more sustainable forms of transport. Most urban settlements are also accessible by existing national public transport links, particularly via the Cardiff-Bridgend rail service. It would be anticipated that the provision of housing and employment in rural settlements would attract local investment and therefore encourage residents to work locally. However, the majority of residents work away and are likely to continue to do so, as the jobs they have are unlikely to be provided within the local area. In larger centres, however, it may be possible to provide appropriate employment and reduce commuting. Through the sustainability test, residents of rural communities that lack appropriate facilities may have to continue travelling long distances to use facilities in other settlements.</p>			<p>It is assumed that growth in these locations will include development of local facilities and employment opportunities. If this is the case, it would be expected that the need to travel to larger urban centres would be reduced. The level to which this option achieves this sustainability objective is dependent upon the policies governing delivery. Residents in smaller rural settlements would need to continue travelling to the larger settlement for use of some facilities. Furthermore, Rhoose and Llantwit Major are the only settlements with rail services on the Vale of Glamorgan Railway Line. There is no rail transport available in other rural settlements. There may be an opportunity to improve bus services in these settlements and other rural towns in which bus service provision is considered to be poor (e.g. Aberthaw (West), Cog, Penmark, Colwinston and Penllyn amongst others).</p>			<p>Whilst the settlement may be self contained in the short-term, it is likely that over time it will generate wider traffic congestion through in and out-commuting. Much depends upon the exact location with respect to existing and proposed public transport links. However, considering other new settlements in the UK, it is unlikely that this would address issues relating to the dependence on private cars in rural areas, nor is it likely to reduce the need to travel to existing major urban centres for higher value services.</p>			<p>Development in urban areas should enable people to work locally, therefore reducing the need to travel to work and commute to Cardiff. Most urban settlements are also accessible by existing national public transport links, particularly via the Cardiff-Bridgend rail service. Increased development of homes and facilities around existing rural centres could also reduce travel distances. If St Athan and Llantwit Major are truly self-contained, this would also result in reduced travel distances, but they may also encourage more trips from surrounding areas.</p>		

13. To provide for a diverse range of local job opportunities.

Performance																		
Commentary	<p>Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. Although unemployment is not a key issue in rural settlements, most residents are employed outside their settlement and some outside the Vale of Glamorgan. There are limited local employment opportunities in rural settlements. Through this strategy, rural areas would continue to be affected by the lack of local employment opportunities.</p>			<p>Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. It may be difficult to attract some large employers to smaller settlements due to there not being appropriate areas for large scale industrial developments. This therefore limits the range of job opportunities that can be provided in rural settlements. Overall, although job opportunities may be increased, though not significantly, the range of jobs available will be limited due to the dispersed nature of development.</p>			<p>Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. It may be difficult to attract some large employers to smaller settlements due to there not being appropriate areas for large scale industrial developments. This therefore limits the range of job opportunities that can be provided in rural settlements. Overall, although job opportunities will be increased, though not significantly, the range of jobs available will be limited due to the dispersed nature of development.</p>			<p>Although unemployment is not a key issue in rural settlements, most residents are employed outside their settlement and some outside the Vale of Glamorgan. There are limited local employment opportunities in rural settlements. In urban areas such as Penarth, where unemployment is an issue, the creation of job opportunities would be limited by this option.</p>			<p>If the settlement is sustainable and self-contained, it is assumed that it would provide local employment opportunities in the area of development and its surroundings, i.e. not develop into a commuter settlement. However, this would not assist in providing a diverse range of employment opportunities locally in other settlements.</p>			<p>Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. It may be difficult to attract some large employers due to inappropriately sized employment sites to smaller settlements therefore limiting the range of job opportunities that can be provided in rural settlements. Development in St Athan is expected to create many local jobs. Overall, although job opportunities are likely to increase, the range of jobs available may remain limited due to the dispersed nature of development.</p>		

LDP Strategy Options	Option1: Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy).			Option 2a: Dispersal of housing and employment opportunities based on the current population of each settlement (without a sustainability test).			Option 2b: Dispersal of housing and employment opportunities based on the current population of each settlement (with a sustainability test).			Option 3: Higher growth in the larger villages in rural areas (e.g. Llantwit Major, Cowbridge, St. Athan, Rhoose and potentially others to be identified).			Option 4: A rural new settlement able to promote sustainable self – containment.			Option 5: Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development.		
	SA Objectives			Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty	Spatial	Trans-boundary	Level of Certainty
	Urban SE	Rural Vale				Urban SE	Rural Vale					Urban SE	Rural Vale					

14. To maintain and enhance the vitality and viability of the Vale of Glamorgan's town, district and local centres.

Performance	+	-	?	M	++	++	0	M	++	++	0	M	0	+	0	M	--	+	0	M	++	++	0	M
Commentary	This option offers a significant opportunity to enhance vitality and viability through new development in urban areas through the integration of new development with existing facilities. However, rural centres may not benefit. There is an opportunity to make urban centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements.			This option offers a significant opportunity to enhance vitality and viability through new development in both urban and rural areas. There is an opportunity to make town centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements.			This option offers a significant opportunity to enhance vitality and viability through new development in both urban and rural areas. There is an opportunity to make town centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements.			This option would maintain the vitality and viability of these four villages. However, other town, district and local centres in the Vale of Glamorgan in need of regeneration, would not benefit through this option. There is an opportunity to make these town centres attractive to local residents that currently use retail facilities in larger settlements. It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements.			The new settlement has potential to be well-designed to ensure its own vitality. However, this largely depends upon the exact design of the development. It will not address vitality problems that exist in some of the other centres in the Vale of Glamorgan, notably in the urban south east. This may result in nearby settlements losing vitality as residents use these newer facilities.			This option offers a significant opportunity to enhance vitality and viability through new development in both urban and rural areas. There is an opportunity to make town centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements.								

15. To promote appropriate tourism.

Performance	?	0	0	L	?	?	0	L	?	?	0	L	0	?	0	M	0	0	0	M	?	?	0	L
Commentary	Growth may lead to mixed-use developments therefore increasing opportunities for tourism businesses. At present most development has been predominantly residential. Tourism development in these settlements will depend upon the businesses that start up as growth continues. As development would be focused in urban centres, it is assumed that there would be no major tourism development in the rural Vale.			Due to the dispersed nature of development under this strategy, it is unlikely that specific tourism development will occur purely as a result of the strategy. Development in the various settlements may enhance or negatively affect any tourism assets in those areas, although it would be expected that planning policy design standards, would seek limit negative effects.			Due to the dispersed nature of development under this strategy, it is unlikely that specific tourism development will occur purely as a result of the strategy. Development in the various settlements may enhance or negatively affect any tourism assets in those areas, although it would be expected that planning policy design standards, would seek limit negative effects.			Tourism development in these settlements will depend upon the businesses that start up as growth continues. Development in the various settlements may enhance or negatively affect any tourism assets in those areas, although it would be expected that planning policy design standards, would seek limit negative effects.			The development of a new settlement is unlikely to significantly affect tourism in the Vale of Glamorgan as a whole.			Increased development and infrastructure could contribute to a tourist infrastructure across the intervention areas, although this would be uncertain at this scale. Tourism development in these settlements will depend upon the businesses that start up as growth continues								

Vale of Glamorgan LDP Strategy Options - Appraisal Matrix (Options 6 to 8)

LDP Strategy Options	Option 6 (Option 1 and Option 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.				Option 7 (Option 2b and Option 5): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.				Option 8 (Option 5 and Option 4): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.			
	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		
1. To provide the opportunity for people to meet their housing needs.												
Performance	++	+	0	L	++	++	0	M	++	+	0	M
Commentary	The housing allocation for the Vale of Glamorgan is 7500 units. It is envisaged that Barry and St. Athan will be key settlements with the remainder distributed appropriately in Penarth, Dinas Powys, Sully, Rhoose and the new settlement. The current UDP Strategy has brought about delivery of housing in Penarth Haven and Rhoose Point and therefore, more units may be delivered elsewhere. This Option has potential to meet the housing need around the Vale through the windfall development, depending on the distribution of sites across the Vale.				It is assumed that development would provide for housing needs in centres across the whole Vale, in both existing urban centres and for rural needs. With this approach, housing allocation would not be spread too thinly across the Vale of Glamorgan. The sustainability test would ensure that housing is delivered in those settlements with the capacity to accommodate new development, particularly in rural parts of the Vale of Glamorgan.				The housing allocation for the Vale of Glamorgan is 7500 units. It is envisaged that Barry and St. Athan will be key settlements. This option would provide housing in the new settlement and in urban areas but would not fully address the needs in rural areas. This Option has potential to meet the housing need around the Vale through the windfall development, depending on the distribution of sites across the Vale.			
2. To maintain, promote and enhance the range of local facilities.												
Performance	+	+	0	M	+	+	0	M	+	++	0	M
Commentary	The delivery of housing in urban centres will ensure that development occurs where appropriate facilities are available. Barry and Penarth already have well established local facilities, with additional services being developed as part of the Barry and Penarth regeneration effort. Mixed effects would be realised in rural areas, with benefits for the new settlement and the surrounding area, although existing rural access to facilities issues would not be addressed elsewhere.				This option will promote and enhance sustainable facilities in both rural and urban areas ensuring that existing facilities remain viable. It will be essential to ensure that there is sufficient service capacity to cope with significant new populations. There would be scope for the Vale of Glamorgan Council to set policies outlining planning obligations for new housing developments to enhance facilities in these areas.				Positive benefits in terms of facilities provision would be realised in the urban centres to the south east and also across rural areas. Positive effects would be realised in the area of the new settlement in particular which would create combined major positive affects in rural areas. There would be scope for the Vale of Glamorgan Council to set policies outlining planning obligations for new housing developments to enhance facilities in these areas			
3. To maintain and improve access for all.												
Performance	+	+	0	M	+	+	0	M	+	+	0	M
Commentary	Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. Positive effects would be realised in the urban centres to the south east and Rhoose in terms of access to the built environment. Mixed effects would be realised in rural areas, with benefits for the new settlement, and associated with windfall development, but existing rural access issues may not be addressed elsewhere. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations.				Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. Growth in settlements across the Vale of Glamorgan in both urban and rural areas will ensure that a greater proportion of the population will have access improved access to facilities and specific buildings. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations.				Planning policy and building regulations would set minimum design standards to ensure that buildings are designed to be accessible to all. The increased spread of population around the Vale of Glamorgan should help to improve access to facilities and decrease isolation. New development across the Vale of Glamorgan has potential to include good design measures to improve local access. Increased development presents an opportunity for sensitive locational design to ensure that developments are located in accessible locations.			

LDP Strategy Options SA Objectives	Option 6 (Option 1 and Option 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhosee (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.				Option 7 (Option 2b and Option 5): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.				Option 8 (Option 5 and Option 4): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.			
	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		
4. Reduce the causes of deprivation.												
Performance	+	-	0	M	+	+	0	M	+	++	0	M
Commentary	Positive effects on tackling the causes of deprivation would be realised in the urban centres to the south east where multiple deprivation is a key issue. Multiple deprivation is not a key issue for the rural Vale, although isolation and access to services are areas of concern. Reduction in deprivation may be achieved as a cascade effect from the new rural settlement and through windfall development, although this may be limited in extent.				Multiple deprivation is mainly within the urban south east part of the Vale of Glamorgan. A balanced spread of growth should increase the number of decent homes and business development, contributing to tackling the causes of deprivation (e.g. Barry). Large growth centres would contribute significantly to employment and residential growth in rural parts of the Vale. However, this would not necessarily reduce deprivation associated with limited access to facilities experienced in more remote areas.				Positive benefits on tackling the causes of deprivation would be realised in the urban centres to the south east and also across rural areas. A reduction in deprivation may also be achieved as a cascade effect from the new rural settlement through windfall development.			
5. To maintain, protect and enhance community spirit.												
Performance	+	0	0	L	+	+	0	M	+	+	0	M
Commentary	Development presents an opportunity to promote distinctiveness, reduce the fear of crime and provide community facilities to enhance community spirit. As this option focuses development in urban settlements and new rural settlements, benefits will be focussed on these areas.				The effect of growth on community spirit is likely to be positive. Growth in these areas may contribute to community spirit through an increase in development of facilities and good design.				Growth in these settlements may contribute to community spirit through an increase in development of facilities and good design.			
6. To minimise the causes and manage the effects of climate change.												
Performance	+/	0	0	L	+/	+/	0	M	+	+/	0	M
Commentary	Provision of housing and employment in urban centres across the Vale of Glamorgan may reduce the need to travel and hence reduce greenhouse gas emissions from transport. Development will initially result in increased energy use during construction. The development of energy efficient buildings can help reduce operational energy requirements of new buildings. Depending on exact location and design of development, flood plains may or may not be affected. Development in coastal areas may be affected by future sea level rise particularly in the low lying estuarine areas around Ogmore-by-Sea, Aberthaw, Barry and Penarth. Furthermore, parts of Sully, Dinas Powys and Barry, are at risk of fluvial flooding.				A diverse spread of development has the potential to limit travel distances and hence vehicular greenhouse gas emissions. The option also promotes more development in the urban areas already served by public transport. Location of development in smaller settlements will be determined through a sustainability test thereby ensuring that growth occurs where there are sufficient facilities to sustain it. Nonetheless, other issues such as increased energy use as a result of increased development, destruction of green sinks, building on floodplains etc. can negatively affect this objective. A large area of floodplain exists to the south east of Barry.				The option could contribute to a reduction in commuting as there would be more accessible opportunities for public transport and the increased spreads of homes, jobs and services would lead to fewer/shorter trips being made and hence fewer vehicular greenhouse gas emissions. However, more development overall and particularly a new rural settlement will lead to increased energy use, increased flooding potential, destruction of green sinks, more rapid run-off rates etc.			
7. To minimise waste.												
Performance	0	0	0	M	0	0	0	M	0	0	0	M
Commentary	The amount of proposed development is the same for all options and therefore the increase in the levels of waste generated will be the same. The South East Wales Regional Waste Plan and the Landfill Directive limits govern the levels of waste going to landfill. Development could result in the reuse of disused buildings in these urban areas, reducing waste construction material. New development would need to have consideration of location of waste facilities.											

LDP Strategy Options SA Objectives	Option 6 (Option 1 and Option 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhoose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.				Option 7 (Option 2b and Option 5): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.				Option 8 (Option 5 and Option 4): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.			
	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		
8. To use land effectively and efficiently.												
Performance	++	--	0	M	+	M	0	M	++	M	0	M
Commentary	Major positive effects would be realised in the urban centres to the south east and Rhoose where there are more areas of previously developed land to use. Areas such as Barry and Penarth have significant amounts of brownfield land that can be re-developed. There is the potential however, that development may occur on edge of town, greenfield land as the availability of brownfield reduces. Negative effects would be realised in rural areas, as a single new settlement is likely to use a significant tract of greenfield land, although preference can be given to the selection of sites that contain brown field land within the rural Vale.				There is the opportunity to redevelop brownfield sites in urban areas. Development in rural settlements would need to be focused within existing built up areas to ensure that the countryside is protected from inappropriate development. However, this will depend upon the availability of land for development within existing built up areas. The option also presents the opportunity to encourage good quality high-density developments in both urban and rural areas.				As development is mainly focused in existing urban areas, there is high potential for previously developed land to be used. In the rural settlements development in greenfield land may occur depending upon the availability of land for development within existing built up areas. It is expected that major development (both housing and employment) at St Athan and Barry would use largely previously developed land. A new rural settlement is likely to be on largely greenfield land and would have an adverse effect on the countryside and landscape, although preference can be given to the selection of sites that contain brown field land within the rural Vale.			
9. To protect and enhance the built and natural environment.												
Performance	+	M	0	M	+	-	0	M	+	-	0	M
Commentary	Positive effects would be realised in the urban centres to the south east and Rhoose through enhancement and regeneration. Mixed effects would be realised in rural areas, as a new settlement would be damaging to the existing, higher value environment, while deflecting potentially damaging development from other rural areas. In urban settlements, it is increasingly becoming evident that some brownfield sites are significant habitats for important species ² . These habitats may be affected by development in urban areas. Furthermore, Rhoose, Barry and Sully are located in close proximity to the coastline, where growth and development may affect the coastal environment. There are SSSIs that may be affected along the Barry stretch of coastline.				The option would focus development on existing settlement and therefore encourage brownfield development rather than use of greenfield sites. Development may result in the regeneration of built areas (Barry for example) as new development acts as a catalyst for general environmental improvements. In rural areas, this would be negative due to the value of the existing environment that will potentially be adversely affected. The environment surrounding rural settlements is likely to be adversely affected as development may affect biodiversity, landscape, soil function, water resource use and heritage outside of settlement boundaries. A number of rural settlements are located in special landscape areas, the character of which may be negatively affected by development.				Positive benefits would be realised in the urban centres to the south east through enhancement and regeneration. In rural areas, this would be negative due to the value of the existing environment that will potentially be adversely affected. Negative effects would be realised in more sensitive rural areas, and more so due to the potentially adverse impacts of the new rural settlement. Although this could be reduced through the preferential selection of brown field sites within the rural Vale for the location of this settlement.			
10. To provide a high quality environment within all new developments.												
Performance	++	++	0	M	+	+	0	M	+	++	0	M
Commentary	Positive effects would be realised in the urban centres to the south east and Rhoose where new development can provide high quality design. Major positive effects would be realised in rural areas, as a single new settlement would have the opportunity to be designed to a very high quality standard.				New developments have the opportunity to be well-designed from the outset in order to include high quality, sustainable materials, use of open space, access etc and can promote a positive community spirit. This will apply to Barry, St Athan and other identified settlements in the urban south east.				The new developments have the opportunity to be well-designed from the outset in order to include high quality, sustainable materials, use of open space, access etc and can promote a positive community spirit. This will apply to Barry, St Athan and other identified settlements in the urban south east.			

² Guideline for the Selection of Wildlife Sites in South Wales, August 2004, South Wales Local Authorities and Wildlife Trusts.

LDP Strategy Options	Option 6 (Option 1 and Option 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhosee (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.			Option 7 (Option 2b and Option 5): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.			Option 8 (Option 5 and Option 4): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.					
	SA Objectives											
	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		

11. To protect, enhance and promote the quality and character of the Vale of Glamorgan's culture and heritage.

Performance	+	+	0	M	+	-	0	M	+	-	0	M
Commentary	<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote.</p> <p>Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets.</p> <p>In the rural Vale, where it is not expected that much growth will take place, it is assumed that the existing cultural and historic environment will be protected from the negative effects of development. The setting of any monuments will also be protected. The notable exception would be the new rural settlement which would be potentially damaging to the existing, high value historic and cultural environment.</p>			<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote.</p> <p>Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets.</p> <p>There are heritage features of value in rural areas that may be affected by new development.</p>			<p>There are a large number of historic buildings, designations and protected monuments in the Vale of Glamorgan. In urban centres, there are a number of listed buildings, conservation areas and ancient monuments, which sensitive development could enhance and promote.</p> <p>Growth will provide the opportunities in urban areas to improve the quality of cultural and historic environments, particularly with regards to historic buildings. Although new development may offer the opportunity to enhance and promote the quality of the cultural/historic environment, there is the risk that development may be insensitive to these assets.</p> <p>There are heritage features of value in rural areas that may be affected by new development. Development of the new settlement is likely to adversely affect landscape and heritage value in its immediate area.</p>					

12. To reduce the need to travel and enable the use of more sustainable modes of transport.

Performance	++	-	0	M	+	+	0	M	+	+	0	M
Commentary	<p>Focusing growth in the urban south east will ensure that development is located in areas with easy access to services as well as to neighbouring areas. Most urban settlements in the south east are also accessible by existing national public transport links, particularly via the Cardiff-Bridgend rail service.</p> <p>However, in the rural Vale isolation of settlements may continue to be an issue, as there would continue to be limited provision of facilities and employment in rural communities. Bus service provision is considered to be poor in Aberthaw (West), Cog, Penmark, Colwinston and Penllyn amongst other rural settlements (as detailed in the LDP Sustainability Appraisal Draft Scoping Report, February 2007). Development of a new rural settlement would not alleviate these problems.</p> <p>It is likely that the Vale will continue to be an attractive commuter zone due to its proximity to Cardiff and the M4.</p>			<p>Development in urban areas should enable people to work locally, therefore reducing the need to travel to work and commute to Cardiff. Most urban settlements are also accessible by existing national public transport links, particularly via the Cardiff-Bridgend rail service.</p> <p>Increased development of homes and facilities around existing rural centres could also improve access to sustainable transport modes as a cascade effect.</p> <p>Through the sustainability test, residents of rural communities that lack appropriate facilities may have to continue travelling long distances to use facilities in other settlements.</p> <p>It is likely that the Vale will continue to be an attractive commuter zone due to its proximity to Cardiff and the M4.</p>			<p>Focusing development in urban areas where there is already a higher population and better access to public transport should have a positive effect on local sustainable transport use. Increased development of homes and facilities around existing rural centres could also improve access to sustainable transport modes as a cascade effect.</p> <p>It is likely that the Vale will continue to be an attractive commuter zone due to its proximity to Cardiff and the M4.</p>					

LDP Strategy Options	Option 6 (Option 1 and Option 4): Maximising the potential of and concentrating growth in Barry, Penarth, Dinas Powys, Sully and Rhose (current UDP strategy) as well as developing a new rural settlement to promote sustainable self-containment.				Option 7 (Option 2b and Option 5): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements to accommodate further housing and associated development based on a sustainability test.				Option 8 (Option 5 and Option 4): Concentrate development opportunities in Barry and the South East Zone. The St.Athan area to be a key development opportunity. Other sustainable settlements (including a new rural settlement) to accommodate further housing and associated development.			
	SA Objectives											
	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty	Spatial		Trans-boundary	Level of Certainty
	Urban SE	Rural Vale			Urban SE	Rural Vale			Urban SE	Rural Vale		

13. To provide for a diverse range of local job opportunities.

Performance	+		+	M	+	+	0	M	+	+	0	M
Commentary	Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. Although unemployment is not a key issue in rural settlements, most residents are employed outside their settlement and some outside the Vale of Glamorgan. There are limited local employment opportunities in rural settlements. Through this strategy, rural areas would continue to be affected by the lack of local employment opportunities. If the new rural settlement is sustainable and self-contained, it is assumed that it would provide local employment opportunities in the area of development and its surroundings. However, this would not alleviate the employment issues in much of the rest of the Vale of Glamorgan (e.g. in Barry and Penarth).				Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. It may be difficult to attract some large employers due to inappropriately sized employment sites to smaller settlements therefore limiting the range of job opportunities that can be provided in rural settlements. Development in St Athan is expected to create many local jobs. Overall, although job opportunities are likely to increase, the range of jobs available may remain limited due to the dispersed nature of development.				Development is likely to provide opportunities for employment in urban areas such as Barry and Penarth, where unemployment is an issue. It may be difficult to attract some large employers due to inappropriately sized employment sites to smaller settlements therefore limiting the range of job opportunities that can be provided in rural settlements. Development in St Athan is expected to create many local jobs. Overall, although job opportunities are likely to increase, the range of jobs available may remain limited due to the dispersed nature of development. If the new rural settlement is sustainable and self-contained, it is assumed that it would provide local employment opportunities in the area of development and its surroundings.			

14. To maintain and enhance the vitality and viability of the Vale's town, district and local centres.

Performance	++		0	M	++	++	0	M	++	+	0	M
Commentary	Positive effects would be realised in the urban centres to the south east and Rhose through regeneration and investment. There is an opportunity to make urban centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. Mixed effects would be realised in rural areas, as a new settlement has potential to be well-designed to ensure its own vitality. However, this largely depends upon the exact design of the development. It will not address vitality problems that exist in some of the rest of the Vale's rural settlements.				This option offers a significant opportunity to enhance vitality and viability through new development in both urban and rural areas. There is an opportunity to make town centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements.				This option offers a significant opportunity to enhance vitality and viability through new development in both urban and rural areas. There is an opportunity to make town centres attractive to local residents that currently use out-of-town retail developments (e.g. Culverhouse Cross). It is assumed that local community and leisure facilities will be provided together with new housing and employment. An increase in population and jobs and overall investment in a number of local centres should contribute positively to vitality and viability of the centres, particularly for rural settlements. The new rural settlement has the potential to be well-designed to ensure its own vitality. However, this largely depends upon the exact design of the development. It will not address vitality problems that exist in some of the rest of the Vale's rural settlements.			

15. To promote appropriate tourism.

Performance	?	0	0	M	?	?	0	L	?	?	0	M
Commentary	The option is unlikely to significantly affect the development of tourism in the Vale, although increased development and improvement of associated infrastructure in urban areas could contribute to a tourist infrastructure.				Increased development and infrastructure could contribute to tourist provision across the Vale, although this would be uncertain at this scale.				As with Option 5, increased development and infrastructure could contribute to a tourist infrastructure across the intervention areas, although this would be uncertain at this scale.			

